



NOTES
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LOWBURN, OTAGO 021 108 2764
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A	FOR INFO	13.07.2021
REV	ISSUE	DATE

S A STUDIO

CLIENT

CHP DEVELOPMENTS LTD

PROJECT

PROSPECTORS PARK

DRAWING TITLE

SITE 1.0

DRAWN	CHECK	SCALE @ A3
JS	JS	1 : 250
FILE	SHEET	REV
20.25	A_100	1



LOT 106
 TYPE B2
 FOOTPRINT 150
 AREA 439
 COVERAGE 34%

LOT 131
 TYPE E
 FOOTPRINT 116
 AREA 250
 COVERAGE 46%

LOT 130
 TYPE B
 FOOTPRINT 110
 AREA 250
 COVERAGE 44%

LOT 129
 TYPE B
 FOOTPRINT 110
 AREA 250
 COVERAGE 44%

LOT 128
 TYPE E
 FOOTPRINT 116
 AREA 250
 COVERAGE 46%

LOT 129
 TYPE C
 FOOTPRINT 95
 AREA 250
 COVERAGE 38%

14

105

125

127

S9
A_202

S8
A_202

1 0.STAGE 1.2
 1 : 250

HOUSE TYPES			
TYPE	STAGE 1	STAGE 2	TOTAL
A (2BED)	3	-	3
B (3BED)	3	6	9
B2 (4BED)	2	1	3
C (3BED)	1	3	4
D (3BED)	4	-	4
E (4BED)	2	7	9
			32

PERMITTED PARTY WALL EASEMENTS

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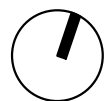
PROJECT

PROSPECTORS PARK

DRAWING TITLE

SITE 1.1

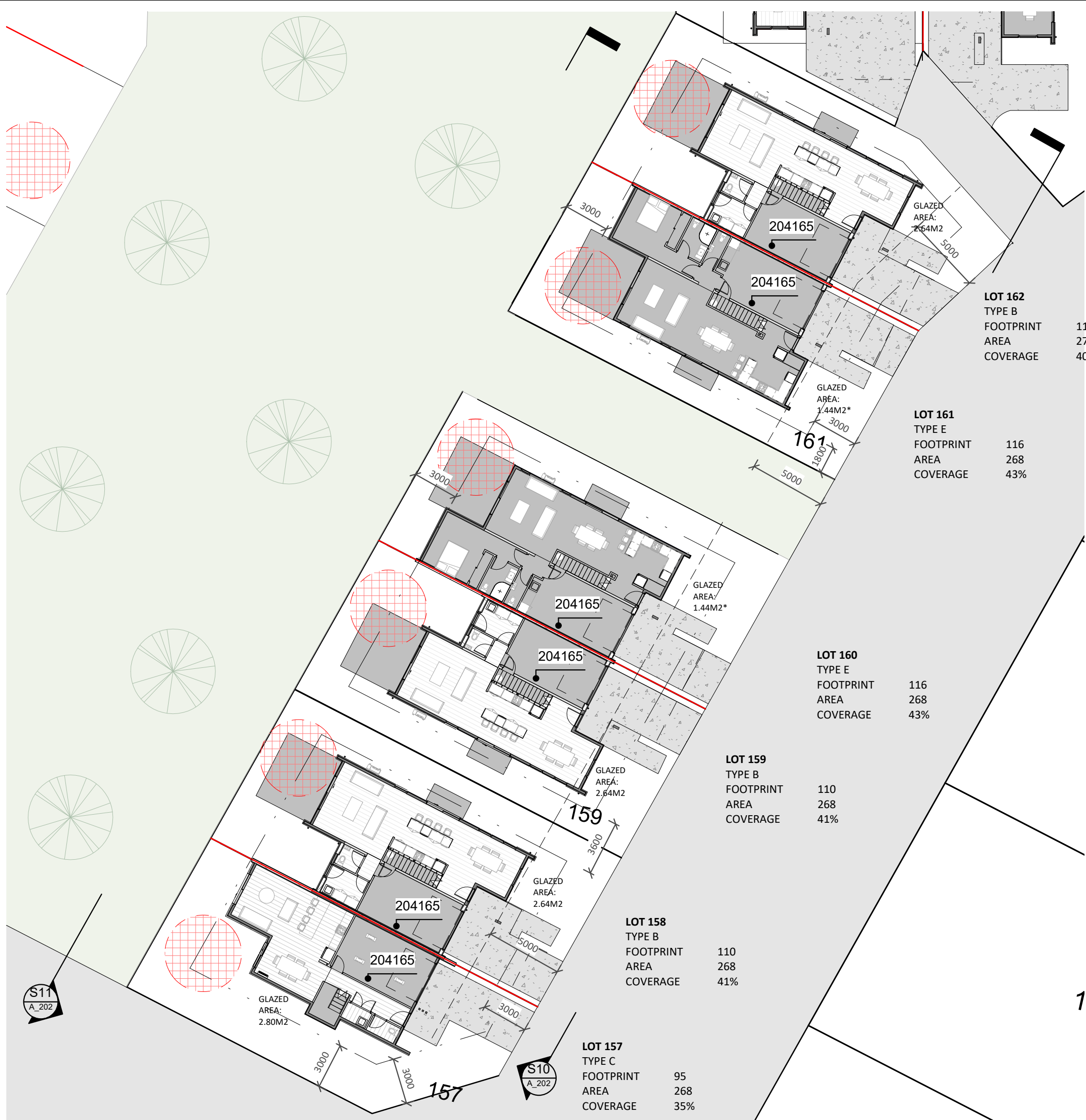
DRAWN	CHECK	SCALE @ A3
JS	JS	1 : 250
FILE	SHEET	REV
20.25	A_101	1



1 0.STAGE 2.1
1 : 250

HOUSE TYPES			
TYPE	STAGE 1	STAGE 2	TOTAL
A (2BED)	3	-	3
B (3BED)	3	6	9
B2 (4BED)	2	1	3
C (3BED)	1	3	4
D (3BED)	4	-	4
E (4BED)	2	7	9
			32

PERMITTED PARTY WALL EASEMENTS



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LOT 162
TYPE B
FOOTPRINT 110
AREA 272
COVERAGE 40%

LOT 161
TYPE E
FOOTPRINT 116
AREA 268
COVERAGE 43%

LOT 160
TYPE E
FOOTPRINT 116
AREA 268
COVERAGE 43%

LOT 159
TYPE B
FOOTPRINT 110
AREA 268
COVERAGE 41%

LOT 158
TYPE B
FOOTPRINT 110
AREA 268
COVERAGE 41%

LOT 157
TYPE C
FOOTPRINT 95
AREA 268
COVERAGE 35%

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PROJECT

PROSPECTORS PARK

DRAWING TITLE

SITE 2.1

DRAWN	CHECK	SCALE @ A3
JS	JS	1 : 250
FILE	SHEET	REV
20.25	A_102	1



S12
A_203

LOT 163
TYPE B 2
FOOTPRINT 150
AREA 335
COVERAGE 45%

LOT 164
TYPE B
FOOTPRINT 110
AREA 293
COVERAGE 38%

LOT 165
TYPE C
FOOTPRINT 95
AREA 259
COVERAGE 37%

LOT 166
TYPE E
FOOTPRINT 116
AREA 250
COVERAGE 46%

LOT 167
TYPE B
FOOTPRINT 110
AREA 250
COVERAGE 44%



S13
A_203

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S A STUDIO

CLIENT

CHP DEVELOPMENTS LTD

PROJECT

PROSPECTORS PARK

DRAWING TITLE

SITE 2.2

DRAWN	CHECK	SCALE @ A3
JS	JS	1 : 250
FILE	SHEET	REV
20.25	A_103	1

1 0.STAGE 2.2
1 : 250

HOUSE TYPES			
TYPE	STAGE 1	STAGE 2	TOTAL
A (2BED)	3	-	3
B (3BED)	3	6	9
B2 (4BED)	2	1	3
C (3BED)	1	3	4
D (3BED)	4	-	4
E (4BED)	2	7	9
			32

PERMITTED PARTY WALL EASEMENTS



S15
A_203

301

25

LOT 168
 TYPE E
 FOOTPRINT 116
 AREA 282
 COVERAGE 41%

LOT 169
 TYPE E
 FOOTPRINT 116
 AREA 282
 COVERAGE 41%

LOT 170
 TYPE B
 FOOTPRINT 110
 AREA 282
 COVERAGE 39%

LOT 171
 TYPE E
 FOOTPRINT 116
 AREA 282
 COVERAGE 41%

LOT 172
 TYPE E
 FOOTPRINT 116
 AREA 282
 COVERAGE 41%

LOT 173
 TYPE B
 FOOTPRINT 110
 AREA 253
 COVERAGE 44%

S14
A_203



1 O.STAGE 2.3
 1 : 250

HOUSE TYPES			
TYPE	STAGE 1	STAGE 2	TOTAL
A (2BED)	3	-	3
B (3BED)	3	6	9
B2 (4BED)	2	1	3
C (3BED)	1	3	4
D (3BED)	4	-	4
E (4BED)	2	7	9
			32

PERMITTED PARTY WALL EASEMENTS

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CLIENT

CHP DEVELOPMENTS LTD

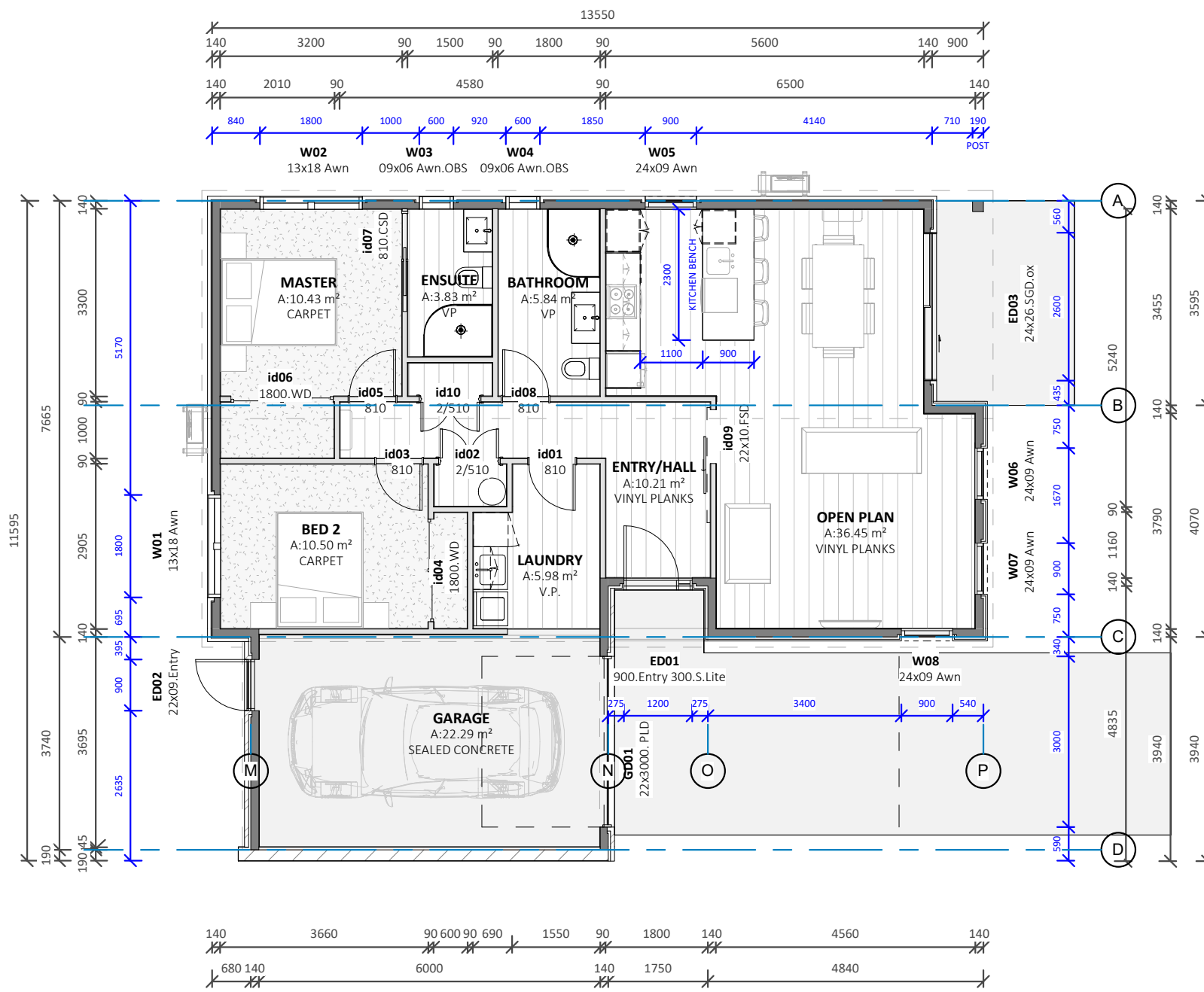
PROJECT

PROSPECTORS PARK

DRAWING TITLE

SITE 2.3

DRAWN	CHECK	SCALE @ A3
JS	JS	1 : 250
FILE	SHEET	REV
20.25	A_104	1



Room Schedule

Name	Area	Floor Finish	Ceiling Finish	Wall Finish
ROBE	1.95 m ²	CARPET	13mm GIB	10mm GIB
BED 2	10.50 m ²	CARPET	13mm GIB	10mm GIB
ROBE	1.18 m ²	CARPET	13mm GIB	10mm GIB
MASTER	10.43 m ²	CARPET	13mm GIB	10mm GIB
CARPET: 4	24.06 m ²			
GARAGE	22.29 m ²	SEALED CONCRETE	13mm GIB	10mm GIB
SEALED CONCRETE: 1	22.29 m ²			
LINEN	0.94 m ²	VINYL PLANKS	13mm GIB	10mm GIB
OPEN PLAN	36.45 m ²	VINYL PLANKS	13mm GIB	10mm GIB
ENTRY/HALL	10.21 m ²	VINYL PLANKS	13mm GIB	10mm GIB
STORE	0.86 m ²	VINYL PLANKS	13mm GIB	10mm GIB
BATHROOM	5.84 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB Aqualine
ENSUITE	3.83 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB Aqualine
LAUNDRY	5.98 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB Aqualine
VINYL PLANKS: 7	64.11 m ²			
Grand total: 12	110.46 m ²			

Floor Schedule

Type	Area
0. 100mm SLAB	123.78 m ²
0. 100mm SLAB: 1	123.78 m ²
2. DRIVEWAY	33.03 m ²
2. DRIVEWAY: 1	33.03 m ²
2. PATIO DINING	8.99 m ²
2. PATIO DINING: 1	8.99 m ²
10. CARPET	12.75 m ²
10. CARPET	12.11 m ²
10. CARPET: 2	24.86 m ²
10. VINYL	2.88 m ²
10. VINYL	4.88 m ²
10. VINYL	53.41 m ²
10. VINYL: 3	61.17 m ²
grass	319.98 m ²
grass: 1	319.98 m ²

Wall Schedule

Type	Length	Area
EXT 90 T. Plaster	6240	6.25 m ²
EXT 140 T. brick	8620	15.83 m ²
EXT 140 T. cedar vertical	14120	40.41 m ²
EXT 140 T. Plaster	24440	82.45 m ²
EXT 190mm BLOCK	6480	20.92 m ²
INT 90mm	45890	121.45 m ²
INT Cabinetry 18mm	2676	6.05 m ²
Grand total: 32	108466	293.36 m ²

Door Schedule

Mark	Type	Head Height	Width	Count
ED01	900.Entry 300.S.Lite	2400	1200	1
ED02	22x09.Entry	2200	900	1
ED03	24x26.SGD.ox	2400	2600	1
GD01	22x3000. PLD	2200	3000	1
id01	810	1980	810	1
id02	2/510	1980	510	1
id03	810	1980	810	1
id04	1800.WD	1980	1800	1
id05	810	1980	810	1
id06	1800.WD	1980	1800	1
id07	810.CSD	1980	880	1
id08	810	1980	810	1
id09	22x10.FSD	2200	1000	1
id10	2/510	1980	510	1
Grand total: 14				14

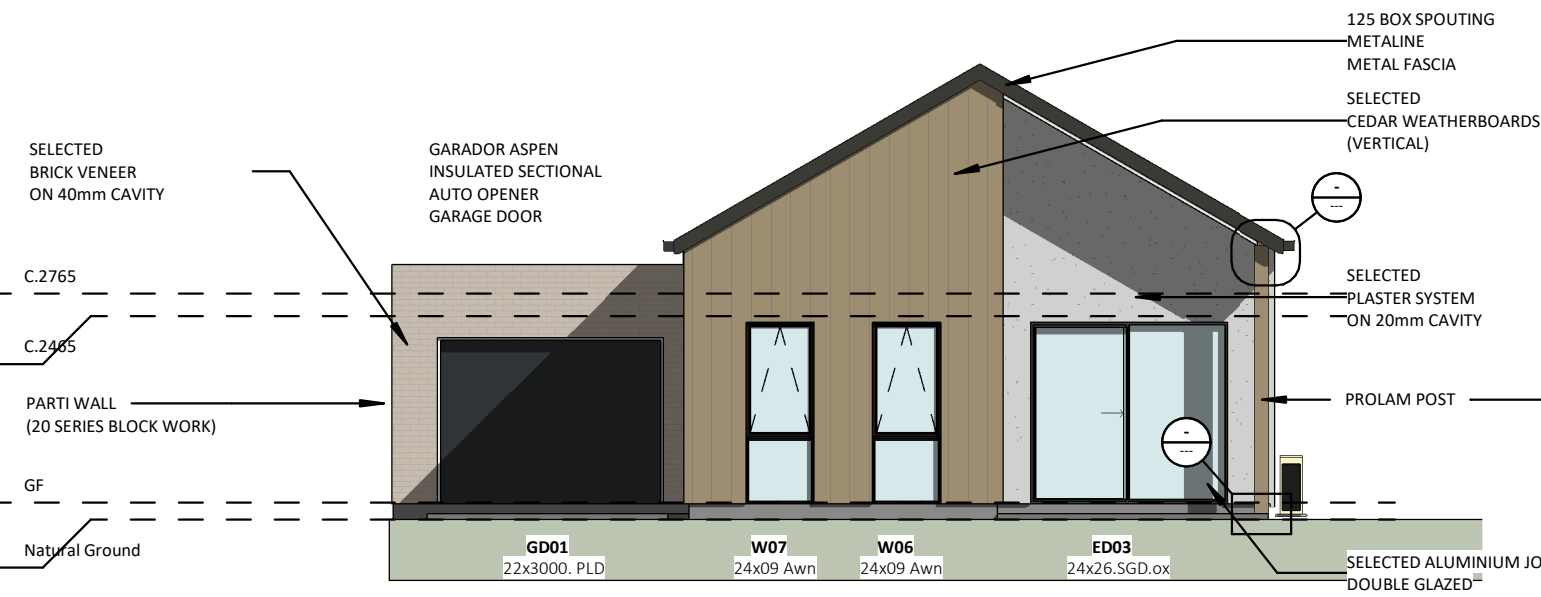
Window Schedule

Mark	Type	Head Height	Sill Height	Width	Count
W01	13x18 Awn	2400	1100	1800	1
W02	13x18 Awn	2400	1100	1800	1
W03	09x06 Awn.OBS	2400	1500	600	1
W04	09x06 Awn.OBS	2400	1500	600	1
W05	24x09 Awn	2400	0	900	1
W06	24x09 Awn	2400	0	900	1
W07	24x09 Awn	2400	0	900	1
W08	24x09 Awn	2400	0	900	1
Grand total: 8					8

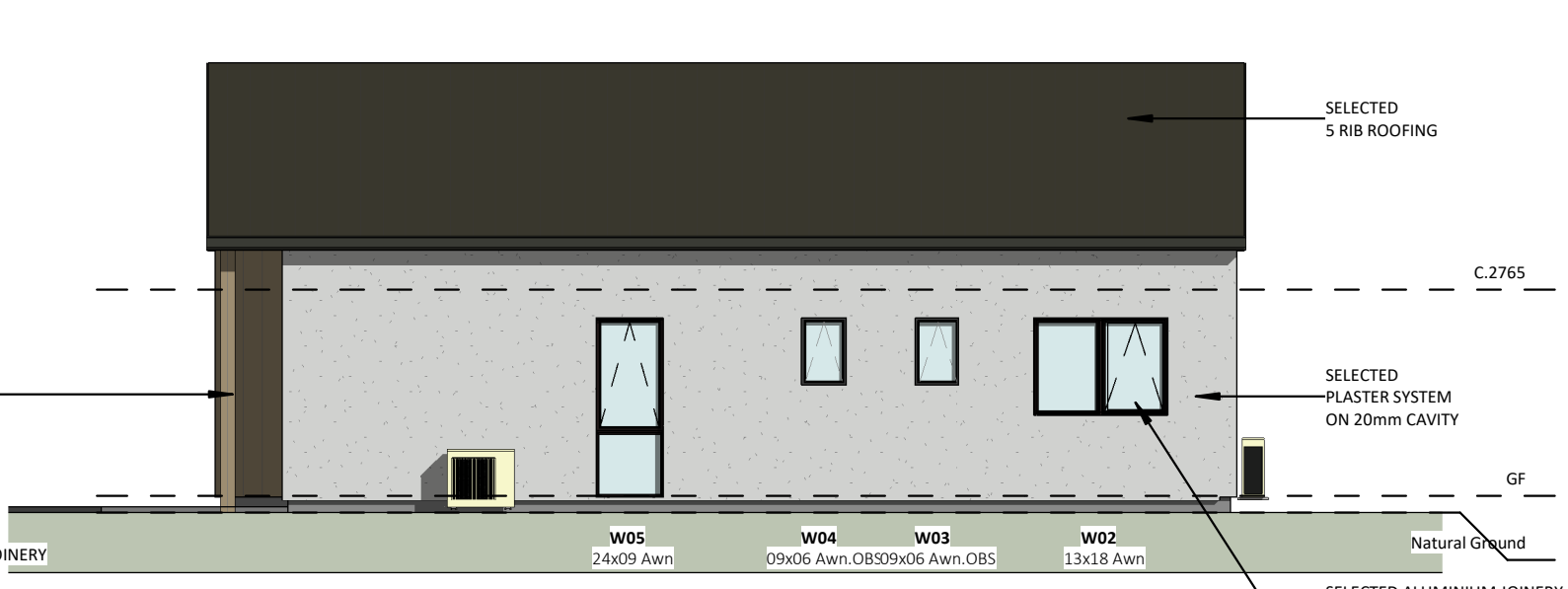
1. GROUND SCHEDULES AND FINISHES
1 : 100

FLOORING SELECTIONS:		PAINT SELECTIONS:	
'A' SPEC		DULUX OR RESENE RANGE	
WOOL :	AVIEMORE RANGE (BERBURY 32 OZ)	SEA FOG / MT ASPRING HALF (OR SIMILAR TBC)	
SYNTHETIC:	ABODE CHATEAU 60 OZ	SATIN FINISH TYPICAL	
UNDERLAY:	11MM ECO PREMIUM	CEILING FLAT 1/2 STRENGTH	
VINYL PLANK:	MODULEO RANGE	SEMI GLOSS TO DOORS AND TRIMS IN DOUBLE STRENGTH	
'B' SPEC			
SYNTHETIC:	ABODE VILLA 48 OZ		
VINYL PLANK:	MODULEO RANGE		
*CARPET TO STAIRS			

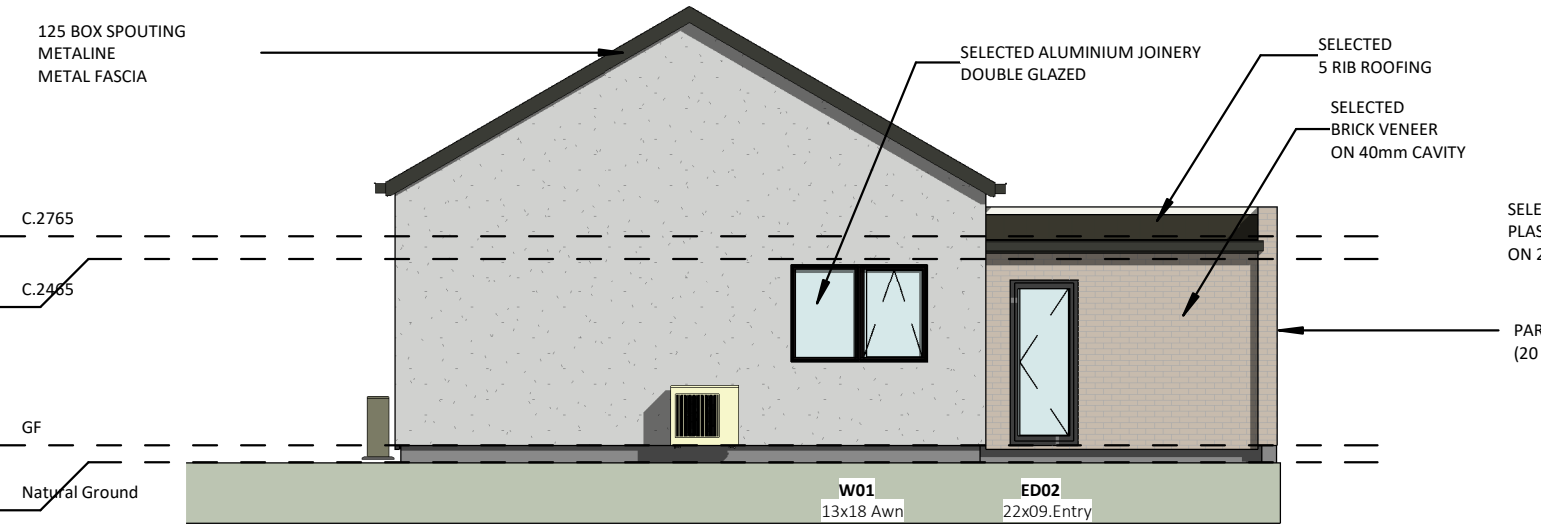
S A STUDIO	NOTES All dimensions to be verified on site before making any shop drawings or commencing any work. All work to comply with current NZBC and relevant codes and standards. Do not measure off these printed drawings. The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited. If in doubt - ASK	LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz	REV ISSUE DATE PROJECT DRAWN DRAWING TITLE SCALE @ A3
			B PRELIM PLANS 21.03.2021 PROSPECTOR'S PARK PK/JS SCHEDULES AND FINISHES 1 : 100
			C PRELIM PLANS 2 20.05.2021
			D DEVELOPED PLANS 13.07.2021 CLIENT CHECK FILE SHEET REV
			E RC COORD 9.08.2021 CHP DEVELOPMENTS LTD JS 2025 A_101 F
			F FOR PRICING 11.08.2021



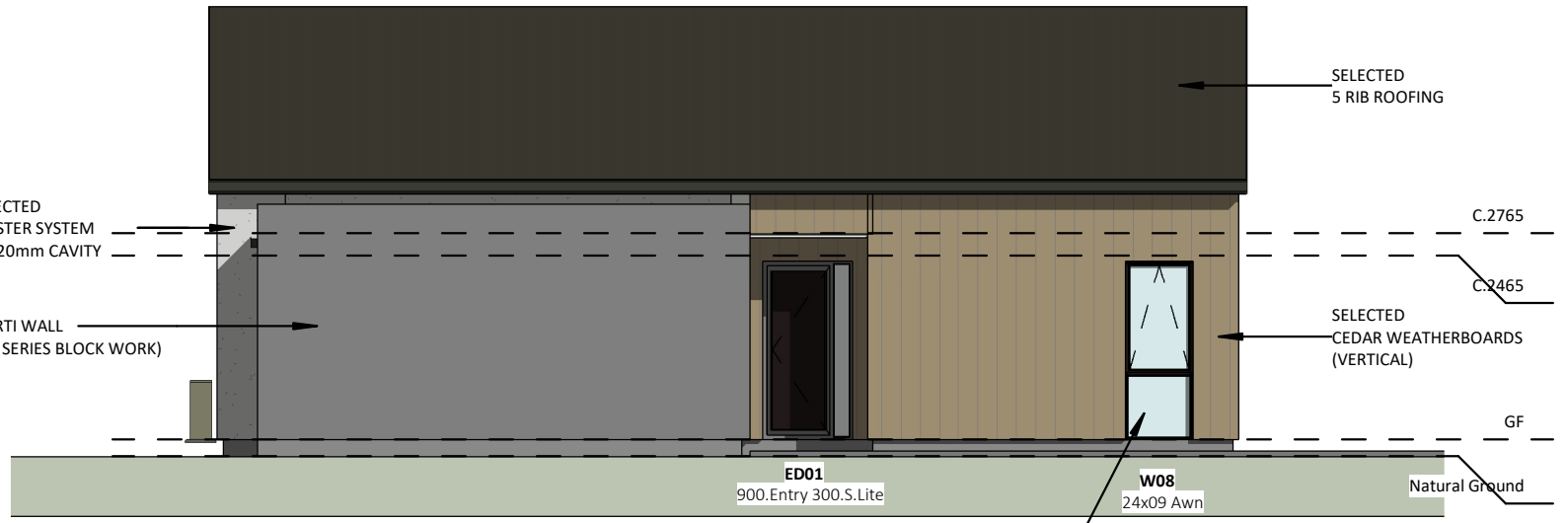
1 ELEVATION N-E
1 : 100



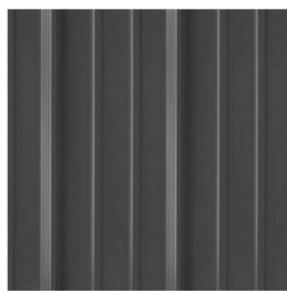
2 ELEVATION N-W
1 : 100



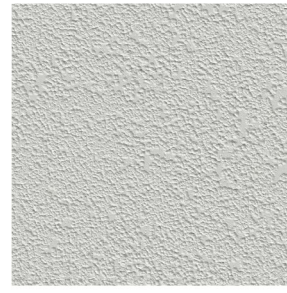
3 ELEVATION S-W
1 : 100



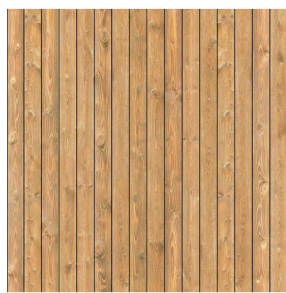
4 ELEVATION S-E
1 : 100



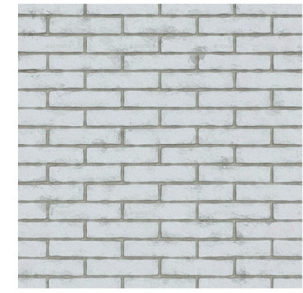
5-RIB ROOFING : IRONSAND, ON COVERTEK 407, ON H1.2 70X45 PURLINS ON FLAT @ 900 CRS
TYPE 'T' FIXING 2.4kn 1/10G SELF DRILLING SCREW 80MM LONG
185 METAL FASCIA, 125 BOX SPOUTING, 80Ø DOWN PIPE



140X45 H1.2 J-FRAME STUDS @ 600 CRS, NOGS @ 800 CRS
7MM H3 ECOPLY RAB, 20MM DRAINED CAVITY
RESENE CONSTRUCTION SYSTEMS 50MM INTEGRA ROCKCOTE CLASSICO FINISH
COLOUR TBC



EXTERNAL WALLS: CEDAR VERTICAL SHIPLAP
140X45 H1.2 J-FRAME STUDS @ 600 CRS, NOGS @ 480 CRS
7MM H3 ECOPLY RAB, H3.1 20MM DRAINED CAVITY
WOODSMAN WOOD OIL TBC



EXTERNAL WALLS: BRICK VENEER
140X45 H1.2 J-FRAME STUDS @ 600 CRS, NOGS @ 800 CRS
7MM H3 ECOPLY RAB
FIRTH 70 SERIES BRICK VENEER, EH TIES 600H X 400V
FOCUS PREMIUM WHITE.
DRICON MORTAR: PUMICE

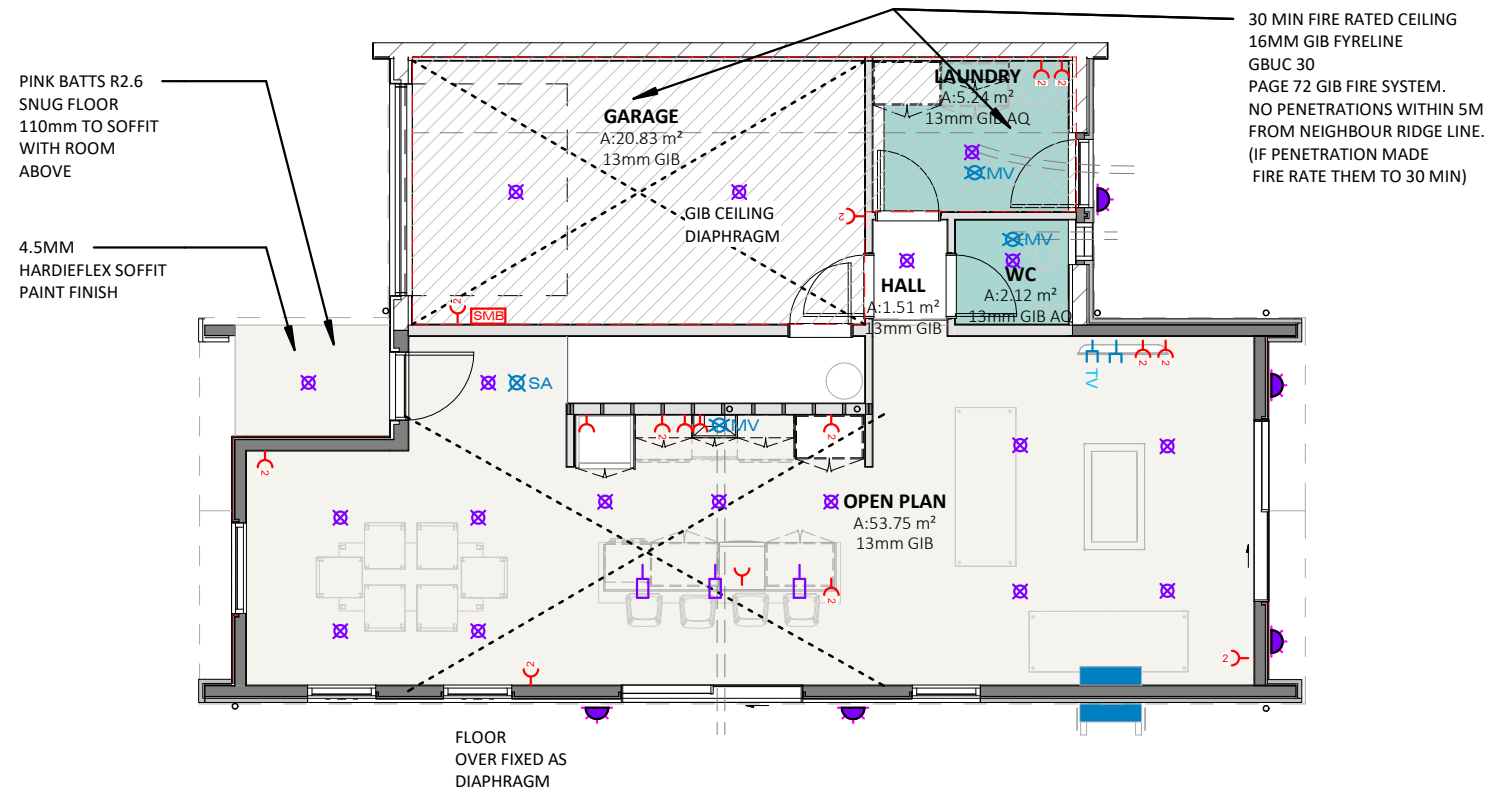
Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

Risk factor	Risk severity						Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	VERY HIGH (2)	VERY HIGH (3)	
Wind zone (per NZS 3604(1))	0	0	1	1	2	1	1
Number of storeys	0	0	1	2	4	0	0
Roof/wall intersection design	0	1	3	5	5	5	5
Eaves width	0	1	2	5	5	5	5
Envelope complexity	0	1	3	3	6	3	3
Deck design	0	0	2	4	6	0	0
Total risk score for use in Table 3:							14

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Elevation Risk Matrix: All Elevations
Cladding Used: PERMITTED ON CAVITY = Permitted

	NOTES	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
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	LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz	C	PRELIM PLANS 2	20.05.2021			CHECK	FILE	
		D	DEVELOPED PLANS	13.07.2021	CLIENT	JS	2025	A_200	F
		E	RC COORD	9.08.2021	CHP DEVELOPMENTS LTD				
		F	FOR PRICING	11.08.2021					



1 GF CEILING
1 : 100

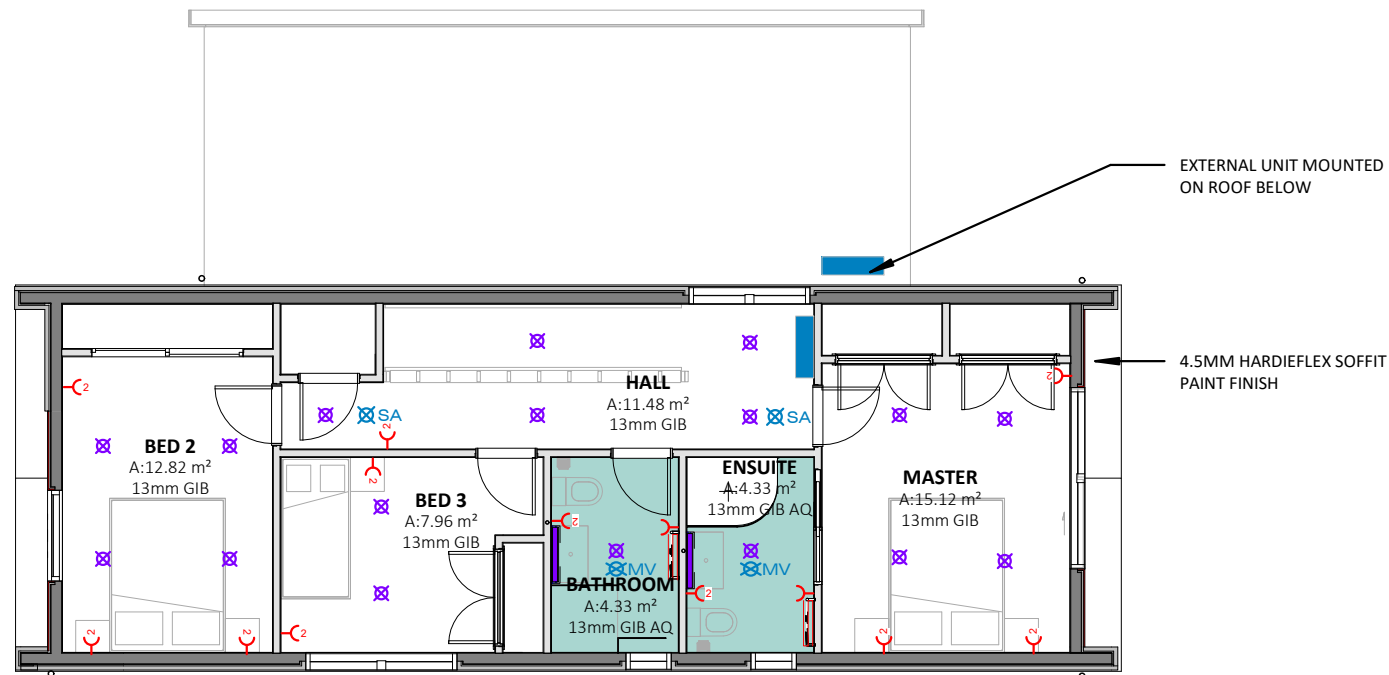
INTERNAL CEILINGS:
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS
@ 600 CRS.
SQUARE STOP CORNICE. LEVEL 4 FINISH
GIB DIAPHRAGM CEILINGS - REFER ENGINEERS NOTES

HEATING:
2X AIR CON UNITS TO BE INSTALLED AS SHOWN.
1 FOR LIVING AREA
1 FOR BEDROOM HALLWAY

CONTRACTOR TO SPECIFY UNITS AND PROVIDE
CONCRETE PAD FOR EXTERNAL UNIT

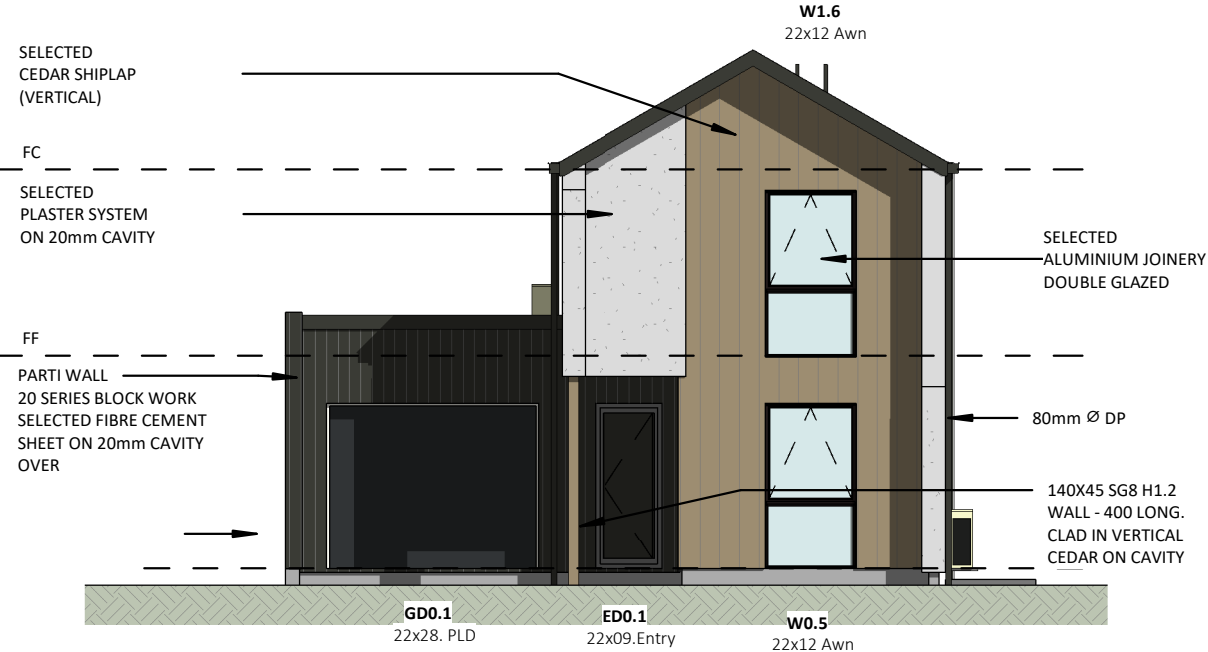
MECHANICAL VENTILATION:
BATHROOM, ENSUITE, LAUNDRY AND KITCHEN TO BE
PROVIDED WITH MECHANICAL VENTILATION.
VIA HIGH WALL WITH WEATHERPROOF COWL.
WEATHERROOF COWL TO BE PAINTED TO MATCH CLADDING,
OR TO MATCH JOINERY WHEN IN CEDAR
MANROSE PRO SERIES 150MM DUCT WITH WEATHERPROOF COWL.

LEGEND	
	LED Down light
	LED recessed wall light
	Ceiling motion sensor
	Pendant
	Exterior Light
	Exterior Sensor
	Mirror light
	Air con unit - confirm with supplier/client
	TV Point - confirm with client
	Phone/Data/HDMI Point
	Mechanical Ventilation
	Smoke Alarm
	Powerpoint (labelled)
	Powerpoint (# of outlets)
	Double GPO + USB
	Switchboard
	Meter board - SMART METER
	Demister
	Electric heated towel rail
NOTES:	
1. All fittings to be confirmed with client prior to purchase	
2. Allow for pre-wire and pre-line walk around with client	
3. All downlights shall be 'IC' rated minimum	
4. Ensure ceiling insulation clearances are met	
5. Smoke alarms shall comply with NZBC F7/AS1, shall have test and hush facilities.	
6. All extract grilles painted/powdercoated to match cladding/soffit they terminate through.	
7. All switches/sockets to be PDL 600 range, white.	
8. Light fittings to be minimum rated IP44 to bathrooms, IP65 in shower, IP54 exterior.	
9. Co-ordiante with joinery supplier for kitchen/bathroom requirements.	
10. Ensure all socket faceplates are orientated and aligned consisantly.	
11. Sockets above bench = 1.0m AFL	
12. Sockets for wall mount TV = 1.5m AFL (confirm client)	



2 FF CEILING
1 : 100

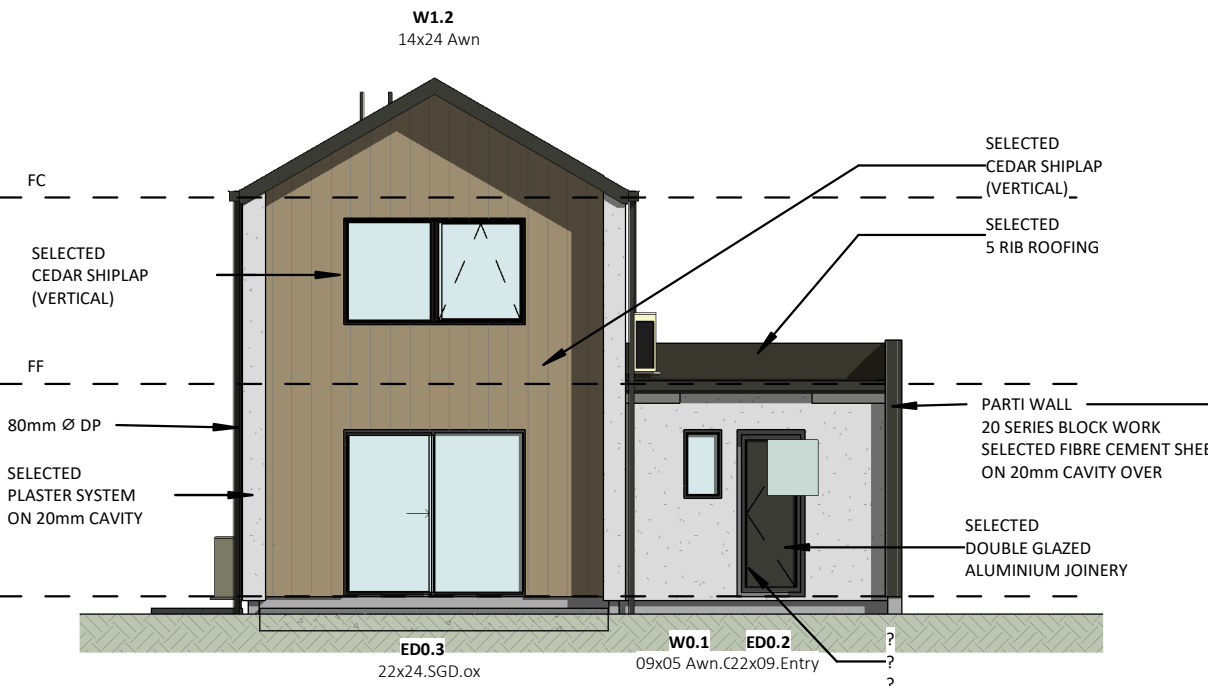
	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work. All work to comply with current NZBC and relevant codes and standards. Do not measure off these printed drawings. The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited. If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	CEILING AND ELECTRICAL LAYOUT		1 : 100
		C	PRELIM PLANS 2	20.05.2021					
		D	DEVELOPED PLANS	13.07.2021	CLIENT	CHECK	FILE	SHEET	REV
		E	RC COORD	9.08.2021	PROSPECTOR'S PARK	JS	2025	B_106	F
		F	FOR PRICING	11.08.2021					



1 ELEVATION FRONT
1 : 100



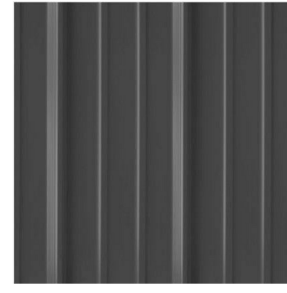
2 ELEVATION SIDE
1 : 100



3 ELEVATION BACK
1 : 100



4 ELEVATION SHARED
1 : 100



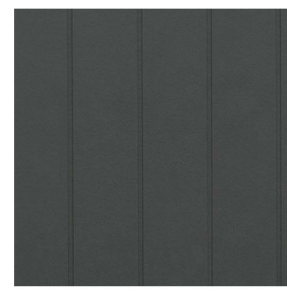
5-RIB ROOFING : IRONSAND, ON COVERTEK 407, ON H1.2 70X45 PURLINS ON FLAT @ 900 CRS TYPE 'T' FIXING 2.4kn 1/10G SELF DRILLING SCREW 80MM LONG 185 METAL FASCIA, 125 BOX SPOUTING, 80Ø DOWN PIPE



140X45 H1.2 J-FRAME STUDS @ 600 CRS, NOGS @ 800 CRS
7MM H3 ECOPLY RAB, 20MM DRAINED CAVITY RESENE CONSTRUCTION SYSTEMS 50MM INTEGRA ROCKCOTE CLASSICO FINISH
COLOUR TBC



EXTERNAL WALLS: CEDAR VERTICAL SHIPLAP
140X45 H1.2 J-FRAME STUDS @ 600 CRS, NOGS @ 480 CRS
7MM H3 ECOPLY RAB, H3.1 20MM DRAINED CAVITY
WOODSMAN WOOD OIL TBC



BGC DURAGROOVE (FIBRE CEMENT) ON 20mm VENTED AND DRAINED CAVITY OVER 7mm ECOPLY RAB
PAINTED, COLOUR

Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

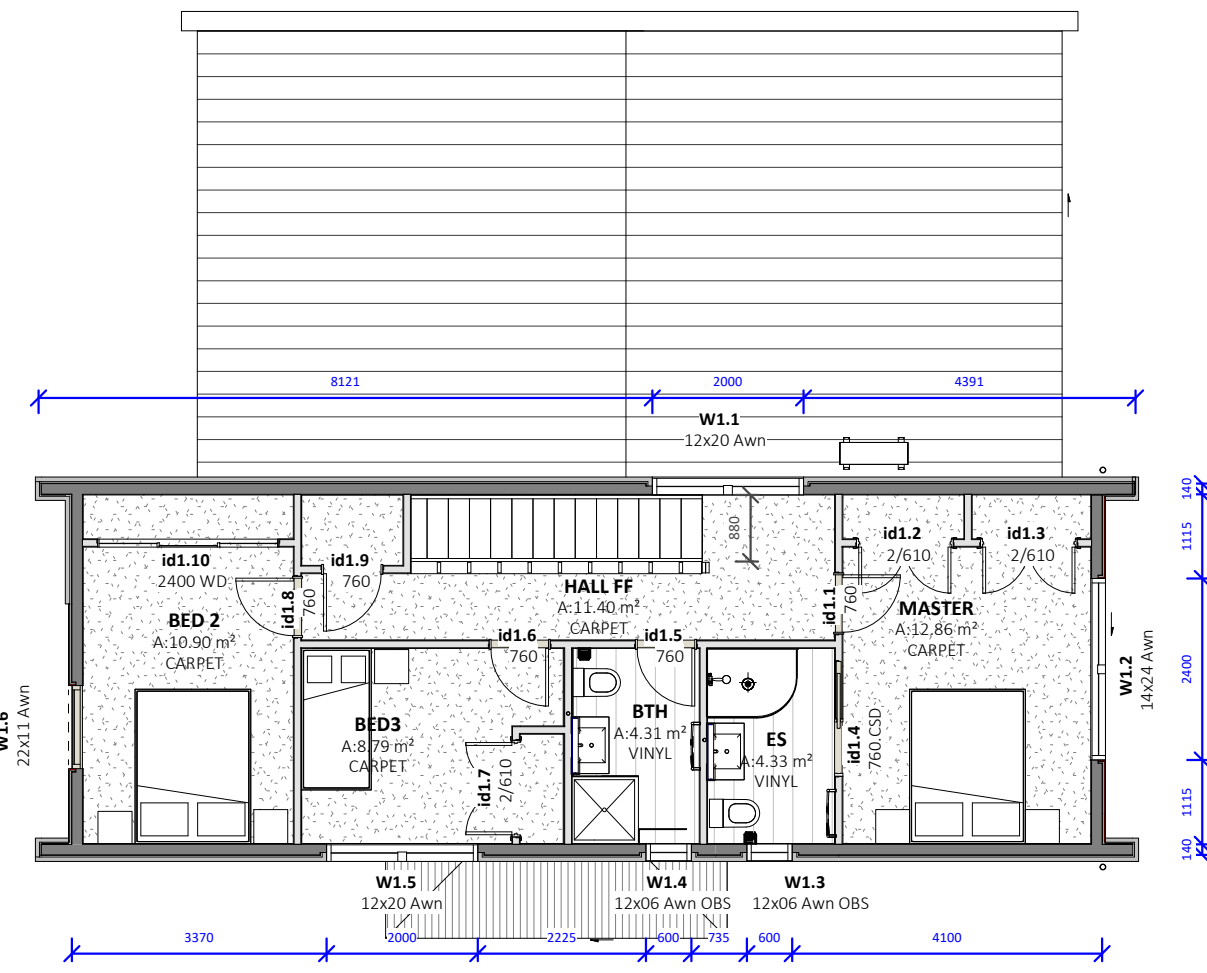
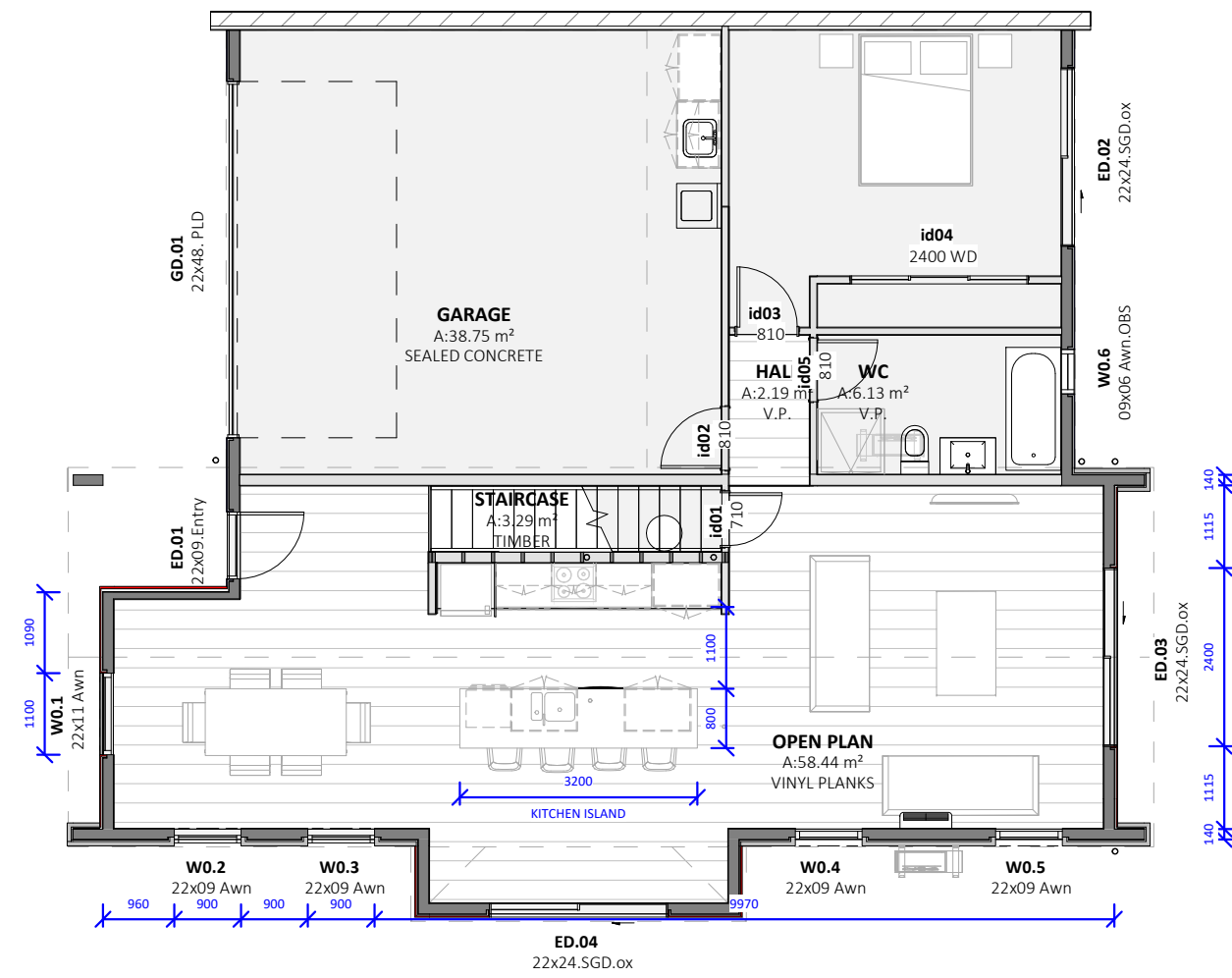
Risk factor	Risk severity					Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	VERY HIGH (2)	
Wind zone (per NZS 3604)(1)	0	0	1	1	2	1
Number of storeys	0	1	2	2	4	2
Roof/wall intersection design	0	1	3	5	5	5
Eaves width	0	1	2	5	5	5
Envelope complexity	0	1	3	6	6	1
Deck design	0	0	2	4	6	0
Total risk score for use in Table 3:						14

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Elevation Risk Matrix: All Elevations
Cladding Used: PERMITTED ON CAVITY = Permitted

	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	ELEVATIONS		1 : 100
		C	PRELIM PLANS 2	20.05.2021					
		D	DEVELOPED PLANS	13.07.2021	CLIENT	CHECK	FILE	SHEET	REV
		E	RC COORD	9.08.2021	PROSPECTOR'S PARK	JS	2025	B_200	F
		F	FOR PRICING	11.08.2021					



FLOORING SELECTIONS:
'A' SPEC
 WOOL : AVIEMORE RANGE (BERBURY 32 OZ)
 SYNTHETIC: ABODE CHATEAU 60 OZ
 UNDERLAY: 11MM ECO PREMIUM
 VINYL PLANK: MODULEO RANGE

'B' SPEC
 SYNTHETIC: ABODE VILLA 48 OZ
 VINYL PLANK: MODULEO RANGE

*CARPET TO STAIRS

PAINT SELECTIONS:
 DULUX OR RESENE RANGE
 SEA FOG / MT ASPRING HALF (OR SIMILAR TBC)
 SATIN FINISH TYPICAL
 CEILING FLAT 1/2 STRENGTH
 SEMI GLOSS TO DOORS AND TRIMS IN DOUBLE STRENGTH

STAIR SELECTIONS:
 MDF STAIR TO RECEIVE CARPET OVERLAY.
 42 Ø TIMBER HANDRAIL (TIMBERLINE TL907 SOUTHLAND BEECH OR SIMILAR)
 WINDSOR 5166 BN STAIR RAIL BRACKET BRUSHED NICKEL (OR SIMILAR) @ 900 CRS.
 CAPPING: 25 THICK, 5MM OVERHANG TO GIB EACH SIDE.
 SOUTHLAND BEECH CLEARS, CLEAR LACQUER

1. GROUND SCHEDULES AND FINISHES
 1 : 100

2. FF SCHEDULES AND FINISHES
 1 : 100

Room Schedule				
Name	Area	Floor Finish	Ceiling Finish	Wall Finish
BED 4	15.54 m ²			
: 1	15.54 m ²			
BED3	8.79 m ²	CARPET	13mm GIB	10mm GIB
BED 2	10.90 m ²	CARPET	13mm GIB	10mm GIB
HALL FF	11.40 m ²	CARPET	13mm GIB	10mm GIB
LINEN	1.25 m ²	CARPET	13mm GIB	10mm GIB
MASTER	12.86 m ²	CARPET	13mm GIB	10mm GIB
ROBE	0.91 m ²	CARPET	13mm GIB	10mm GIB
ROBE	1.61 m ²	CARPET	13mm GIB	10mm GIB
ROBE 4	1.90 m ²	CARPET	13mm GIB	10mm GIB
STAIRCASE	3.29 m ²	CARPET	13mm GIB	10mm GIB
CARPET: 9	52.91 m ²			
GARAGE	38.75 m ²	SEALED CONCRETE	13mm GIB	10mm GIB
SEALED CONCRETE: 1	38.75 m ²			
BTH	4.31 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB AQ
ES	4.33 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB AQ
HALL	2.19 m ²	VINYL PLANKS	13mm GIB	10mm GIB
OPEN PLAN	58.44 m ²	VINYL PLANKS	13mm GIB	10mm GIB
WC	6.13 m ²	VINYL PLANKS	13mm GIB AQ	10mm GIB AQ
VINYL PLANKS: 5	75.41 m ²			
Grand total: 16	182.60 m ²			

Floor Schedule	
Type	Area
0. 85mm RIBRAFT	139.66 m ²
0. 85mm RIBRAFT: 1	139.66 m ²
1. FIRST FLOOR	62.37 m ²
1. FIRST FLOOR: 1	62.37 m ²
10.CARPET	46.69 m ²
10.CARPET: 4	46.69 m ²
10.VINYL	67.79 m ²
10.VINYL: 3	67.79 m ²
grass	203.73 m ²
grass: 1	203.73 m ²
Grand total: 10	520.24 m ²

Window Schedule						
Mark	Type	Head Height	Sill Height	Width	Count	Level
W0.1	22x11 Awn	2200	0	1100	1	GF
W0.2	22x09 Awn	2200	0	900	1	GF
W0.3	22x09 Awn	2200	0	900	1	GF
W0.4	22x09 Awn	2200	0	900	1	GF
W0.5	22x09 Awn	2200	0	900	1	GF
W0.6	09x06 Awn.OBS	2200	1300	600	1	GF
GF: 6						
W1.1	12x20 Awn	2200	1000	2000	1	FF
W1.2	14x24 Awn	2200	800	2400	1	FF
W1.3	12x06 Awn OBS	2200	1000	600	1	FF
W1.4	12x06 Awn OBS	2200	1000	600	1	FF
W1.5	12x20 Awn	2200	1000	2000	1	FF
W1.6	22x11 Awn	2200	0	1100	1	FF
FF: 6						
Grand total: 12						

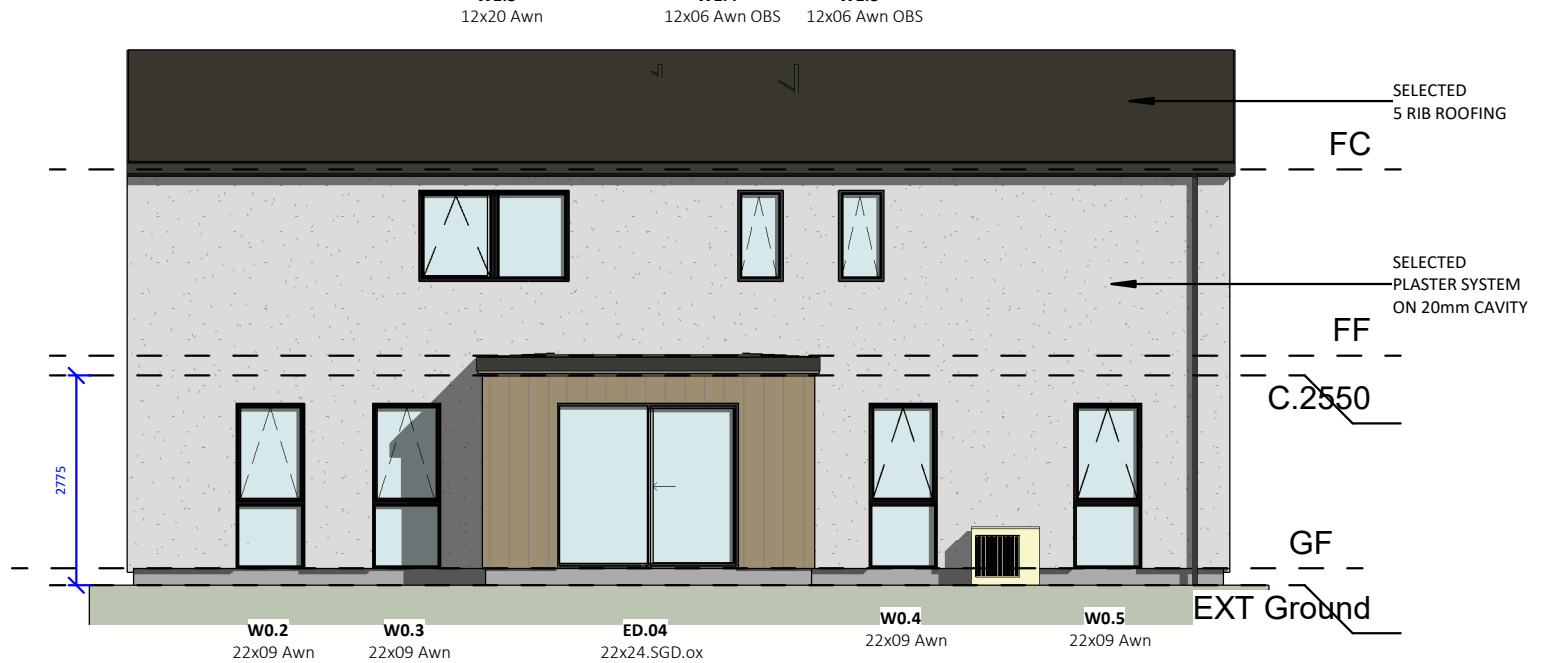
Door Schedule				
Mark	Type	Head Height	Width	Level
ED.01	22x09.Entry	2200	900	GF
ED.02	22x24.SGD.ox	2200	2400	GF
ED.03	22x24.SGD.ox	2200	2400	GF
ED.04	22x24.SGD.ox	2200	2400	GF
GD.01	22x48. PLD	2200	4800	GF
id01	710	1980	710	GF
id02	810	1980	810	GF
id03	810	1980	810	GF
id04	2400 WD	1980	2400	GF
id05	810	1980	810	GF
GF: 10				
id1.1	760	1980	760	FF
id1.2	2/610	1980	609	FF
id1.3	2/610	1980	609	FF
id1.4	760.CSD	1980	760	FF
id1.5	760	1980	760	FF
id1.6	760	1980	760	FF
id1.7	2/610	1980	609	FF
id1.8	760	1980	760	FF
id1.9	760	1980	760	FF
id1.10	2400 WD	1980	2400	FF
FF: 10				
Grand total: 20				

Wall Schedule		
Type	Length	Area
EXT 90 T. cedar vertical	1726	4.34 m ²
EXT 140 T. BGC DURAGROOVE	13603	17.80 m ²
EXT 140 T. cedar vertical	14314	44.42 m ²
EXT 140 T. Plaster	31652	99.59 m ²
EXT 190mm BLOCK	11860	43.29 m ²
EXT PLASTER NIB	2551	11.24 m ²
INT 90mm	59565	109.07 m ²
INT 140mm Wall	14006	39.82 m ²
INT Glass 12mm	1810	3.39 m ²
INT TILES 10	3569	4.07 m ²
INT Cabinetry 18mm	7121	9.87 m ²
Grand total: 62	161777	386.90 m ²

	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	SCHEDULES AND FINISHES		1 : 100
		C	PRELIM PLANS 2	20.05.2021					
		D	DEVELOPED PLANS	13.07.2021					
		E	RC COORD	9.08.2021	CLIENT	CHECK	FILE	SHEET	REV
		F	FOR PRICING	20.08.2021	PROSPECTOR'S PARK	JS	2025	B2_101	F



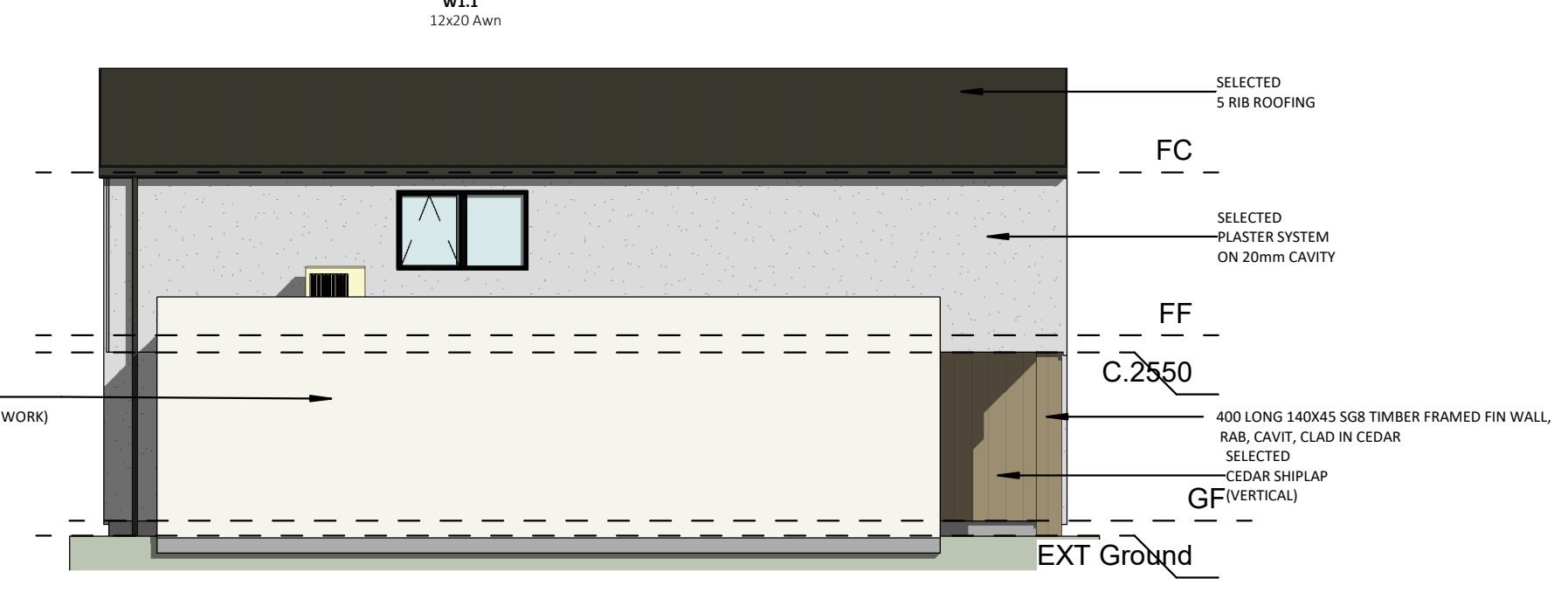
1 ELEVATION FRONT
1 : 100



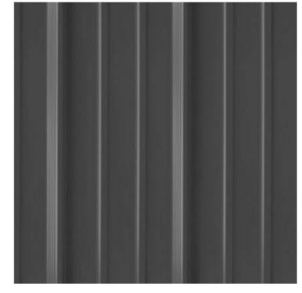
2 ELEVATION SIDE
1 : 100



3 ELEVATION BACK
1 : 100



4 ELEVATION SHARED
1 : 100



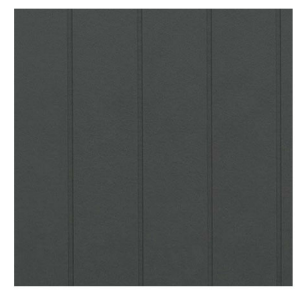
5-RIB ROOFING : IRONSAND,
ON COVERTEK 407,
ON H1.2 70X45 PURLINS ON
FLAT @ 900 CRS
TYPE 'T' FIXING 2.4KN 1/10G
SELF DRILLING SCREW
80MM LONG
185 METAL FASCIA, 125 BOX
SPOUTING, 80Ø DOWN PIPE



140X45 H1.2 J-FRAME
STUDS @ 600 CRS, NOGS @
800 CRS
7MM H3 ECOPLY RAB,
20MM DRAINED CAVITY
RESENE CONSTRUCTION
SYSTEMS 50MM INTEGRA
ROCKCOTE CLASSICO FINISH
COLOUR TBC



EXTERNAL WALLS: CEDAR
VERTICAL SHIPLAP
140X45 H1.2 J-FRAME
STUDS @ 600 CRS, NOGS @ 480
CRS
7MM H3 ECOPLY RAB, H3.1 20MM
DRAINED CAVITY
WOODSMAN WOOD OIL
TBC



BGC DURAGROOVE (FIBRE CEMENT)
ON 20mm VENTED AND DRAINED CAVITY
OVER 7mm ECOPLY RAB
PAINTED, COLOUR

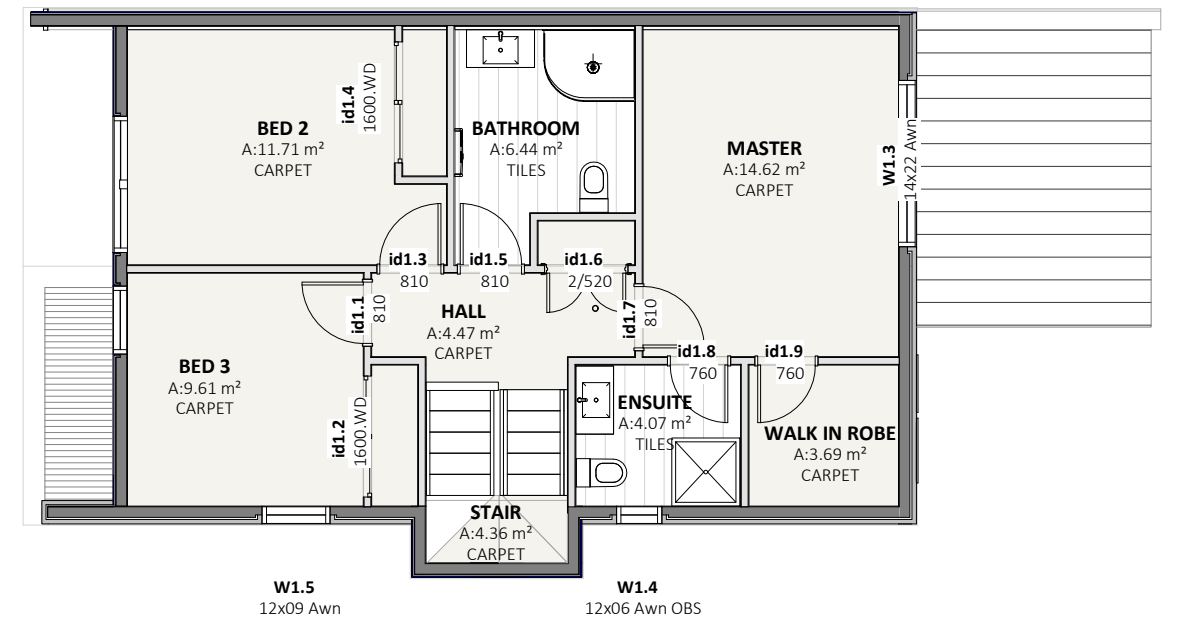
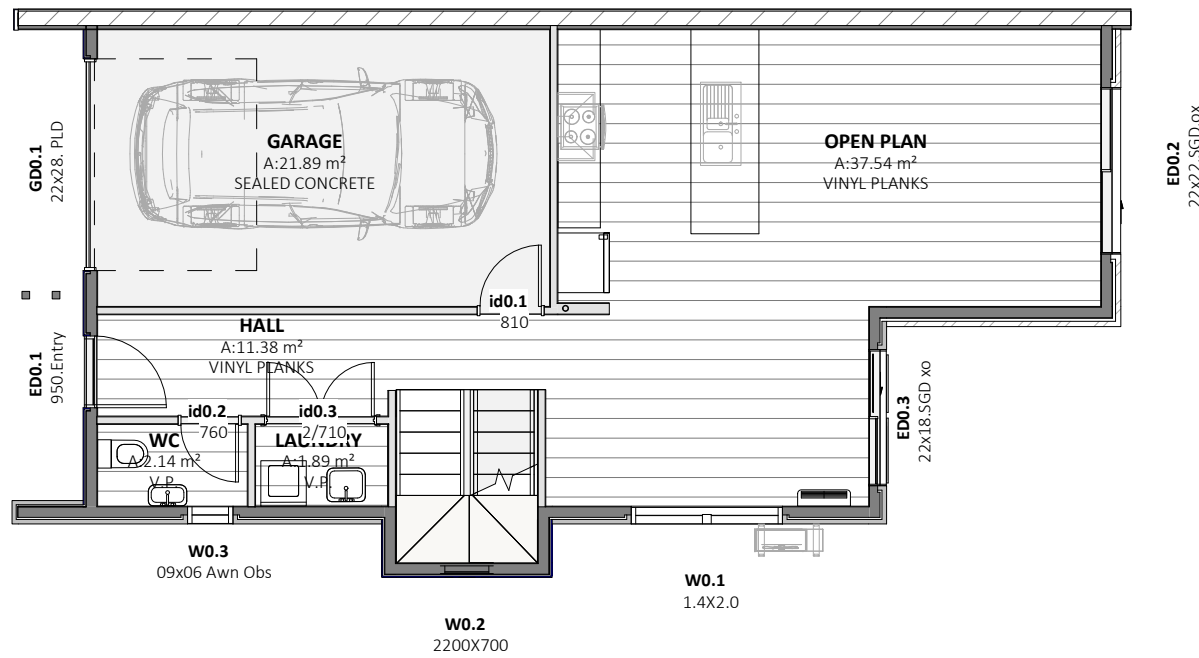
Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

Risk factor	Risk severity					Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	VERY HIGH (2)	
Wind zone (per NZS 3604)(1)	0	0	1	1	2	1
Number of storeys	0	1	2	2	4	2
Roof/wall intersection design	0	1	3	5	5	5
Eaves width	0	1	2	5	5	5
Envelope complexity	0	1	1	3	6	1
Deck design	0	0	2	4	6	0
Total risk score for use in Table 3:						14

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Elevation Risk Matrix: All Elevations
Cladding Used: PERMITTED ON CAVITY = Permitted

	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	<p>REV</p> <p>ISSUE</p> <p>DATE</p> <p>PROJECT</p> <p>DRAWN</p> <p>DRAWING TITLE</p> <p>SCALE @ A3</p>	B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	ELEVATIONS	1 : 100	
			C	PRELIM PLANS 2	20.05.2021					
			D	DEVELOPED PLANS	13.07.2021	CLIENT	CHECK	FILE	SHEET	REV
			E	RC COORD	9.08.2021	PROSPECTOR'S PARK	JS	2025	B2_200	F
			F	FOR PRICING	20.08.2021					



1 1. GROUND SCHEDULES
1 : 100

2 FIRST SCHEDULES
1 : 100

Room Schedule				
Name	Area	Floor Finish	Ceiling Finish	Wall Finish
BED 2	11.71 m ²	CARPET	13mm GIB	10mm GIB
BED 3	Not Placed	CARPET	13mm GIB	10mm GIB
BED 3	9.61 m ²	CARPET	13mm GIB	10mm GIB
LINEN	0.74 m ²	CARPET	13mm GIB	10mm GIB
MASTER	14.62 m ²	CARPET	13mm GIB	10mm GIB
ROBE	Not Placed	CARPET	13mm GIB	10mm GIB
ROBE	1.14 m ²	CARPET	13mm GIB	10mm GIB
ROBE	1.12 m ²	CARPET	13mm GIB	10mm GIB
STAIR	4.36 m ²	CARPET	13mm GIB	10mm GIB
WALK IN ROBE	3.69 m ²	CARPET	13mm GIB	10mm GIB
CARPET: 10	47.00 m ²			
GARAGE	21.89 m ²	SEALED CONCRETE	13mm GIB	10mm GIB
SEALED CONCRETE: 1	21.89 m ²			
BATHROOM	6.44 m ²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
ENSUITE	4.07 m ²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
ES	Not Placed	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
HALL	11.38 m ²	VINYL PLANKS	13mm GIB	10mm GIB
HALL	4.47 m ²	VINYL PLANKS	13mm GIB	10mm GIB
HALL	Not Placed	VINYL PLANKS	13mm GIB	10mm GIB
LAUNDRY	1.89 m ²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
OPEN PLAN	37.54 m ²	VINYL PLANKS	13mm GIB	10mm GIB
WC	2.14 m ²	VINYL PLANKS	13mm GIB	10mm GIB
VINYL PLANKS: 9	67.93 m ²			
Grand total: 20	136.82 m ²			

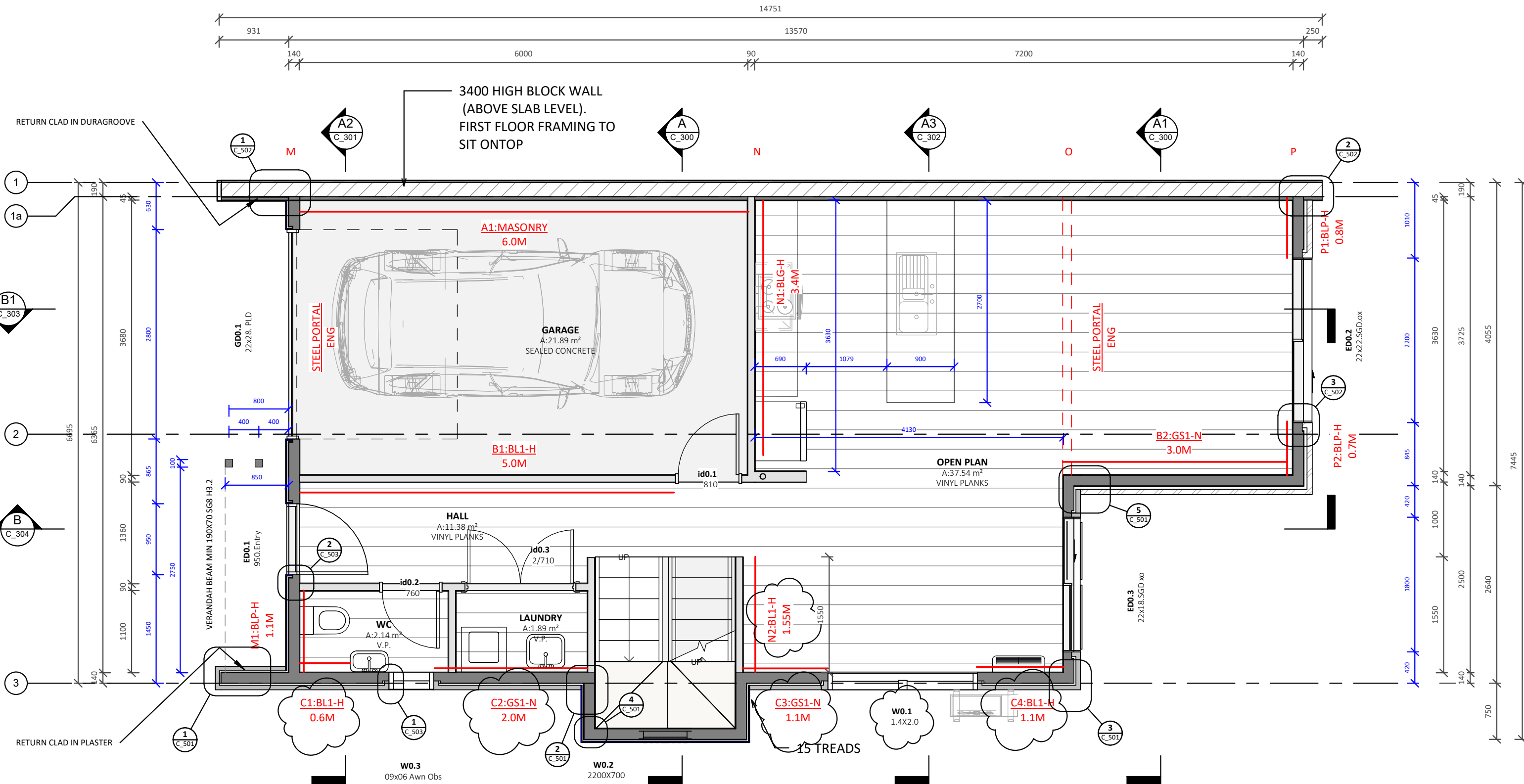
Floor Schedule	
Type	Area
0. 100mm SLAB	84.73 m ²
0. 100mm SLAB: 1	84.73 m ²
1. FIRST FLOOR	63.88 m ²
1. FIRST FLOOR: 1	63.88 m ²
1. LANDING	0.41 m ²
1. LANDING	0.46 m ²
1. LANDING	0.42 m ²
1. LANDING	0.38 m ²
1. LANDING: 4	1.67 m ²
10.VINYL	45.49 m ²
10.VINYL	2.20 m ²
10.VINYL	1.94 m ²
10.VINYL	4.11 m ²
10.VINYL	5.50 m ²
10.VINYL: 5	59.24 m ²
grass: 1	144.29 m ²
grass: 1	144.29 m ²
Grand total: 12	353.82 m ²

Window Schedule			
Mark	Type	Head Height	Level
W0.1	1.4X2.0	2200	GF
W0.2	2200X700	4100	GF
W0.3	09x06 Awn Obs	2200	GF
W1.1	12x09 Awn	2200	FF
W1.2	12x18 Awn	2200	FF
W1.3	14x22 Awn	2200	FF
W1.4	12x06 Awn OBS	2200	FF
W1.5	12x09 Awn	2200	FF

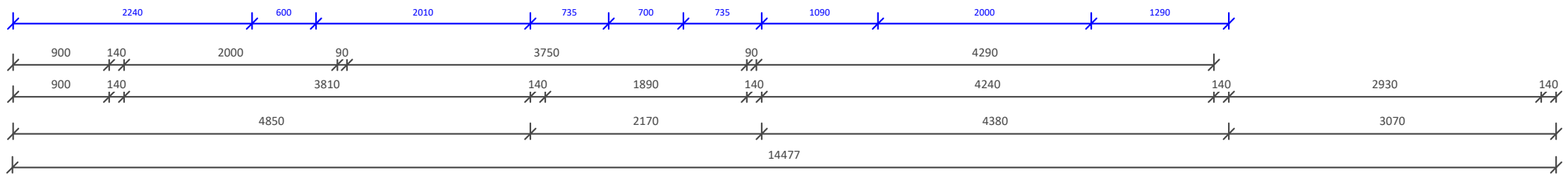
Wall Schedule		
Type	Length	Area
EXT 140 T. brick	7016	13.91 m ²
EXT 140 T. Plaster	27879	66.39 m ²
EXT 140 T. VERTICAL DURAGROOVE	21591	67.57 m ²
EXT 190mm BLOCK	14751	50.05 m ²
EXT DURAGROOVE	1234	2.80 m ²
EXT PLASTER NIB	1144	6.32 m ²
INT140mm	735	1.73 m ²
INT 45mm	10415	10.20 m ²
INT 90mm	53716	107.46 m ²
Grand total	138480	326.44 m ²

Door Schedule			
Mark	Type	Head Height	Level
ED0.1	950.Entry	2200	GF
ED0.2	22x22.SGD.ox	2200	GF
ED0.3	22x18.SGD xo	2200	GF
GD0.1	22x28. PLD	2200	GF
id0.1	810	1980	GF
id0.2	760	1980	GF
id0.3	2/710	1980	GF
id1.1	810	1980	FF
id1.2	1600.WD	1980	FF
id1.3	810	1980	FF
id1.4	1600.WD	1980	FF
id1.5	810	1980	FF
id1.6	2/520	1980	FF
id1.7	810	1980	FF
id1.8	760	1980	FF
id1.9	760	1980	FF

	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3	
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	SCHEDULES AND FINISHES		1 : 100	
		C	PRELIM PLANS 2	20.05.2021		CHECK	FILE	SHEET	REV	
		D	DEVELOPED PLANS	13.07.2021	CLIENT	CHP DEVELOPMENTS LTD	JS	2025	C_101	F
		E	RC COORD	02.09.2021						

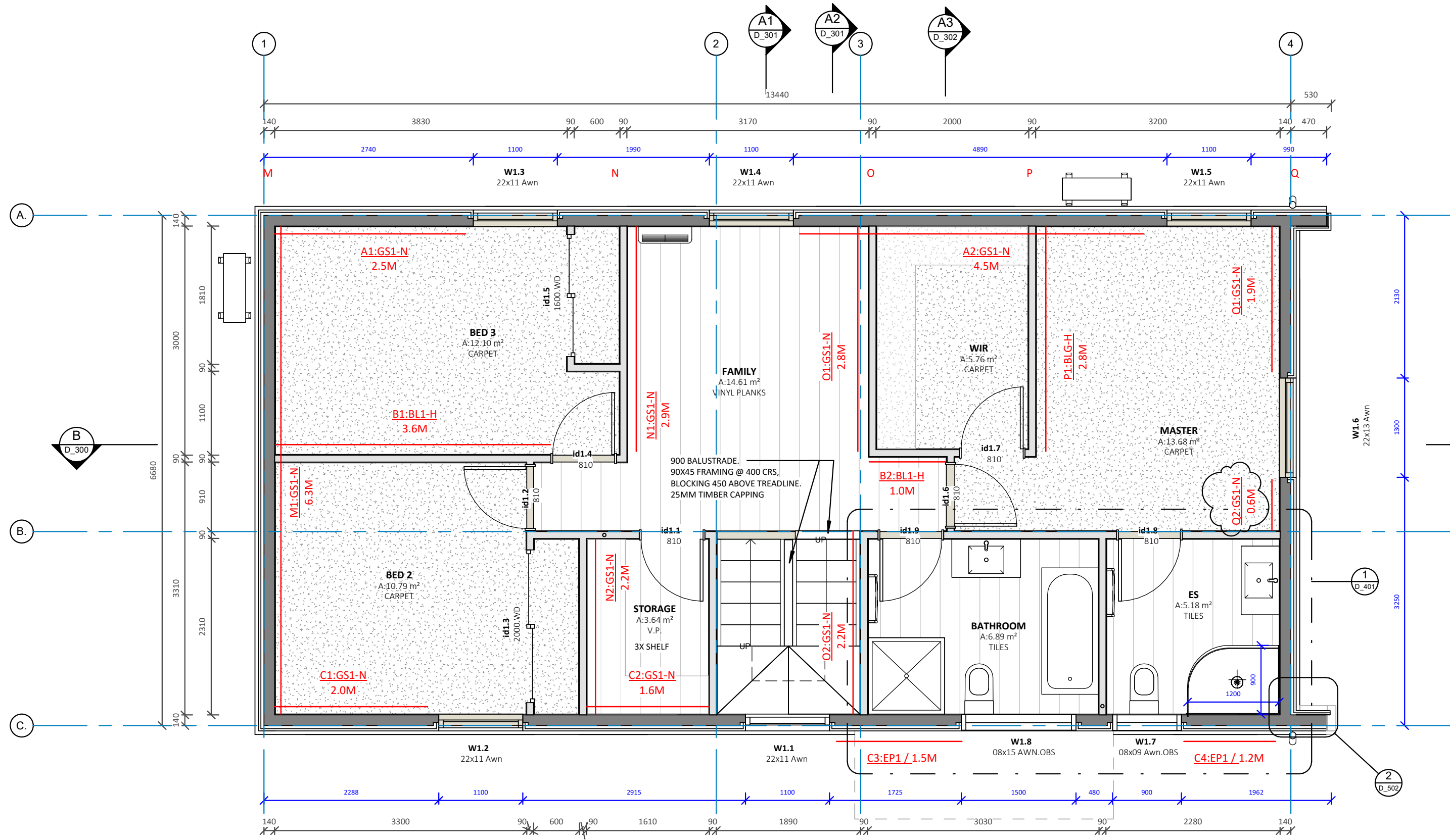


1. GROUND
1 : 50



RAB TO TYPE C
6MM JAMES HARDIE RAB

	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	GROUND FLOOR PLAN		1 : 50
		C	PRELIM PLANS 2	20.05.2021		CHECK	FILE	SHEET	REV
		D	DEVELOPED PLANS	13.07.2021	CLIENT	JS	2025	C_103	F
		E	RC COORD	02.09.2021	CHP DEVELOPMENTS LTD				



S A STUDIO

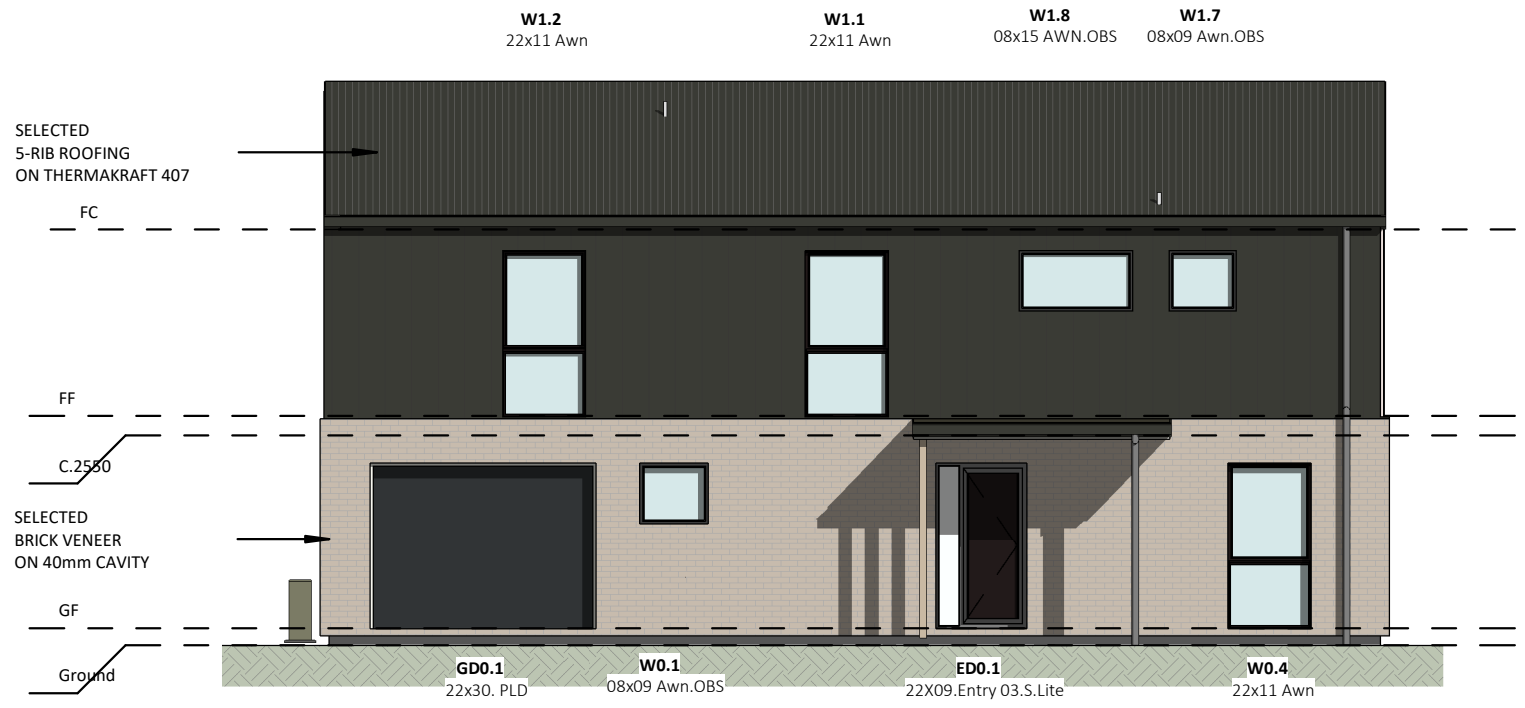
NOTES
All dimensions to be verified on site before making any shop drawings or commencing any work.
All work to comply with current NZBC and relevant codes and standards.
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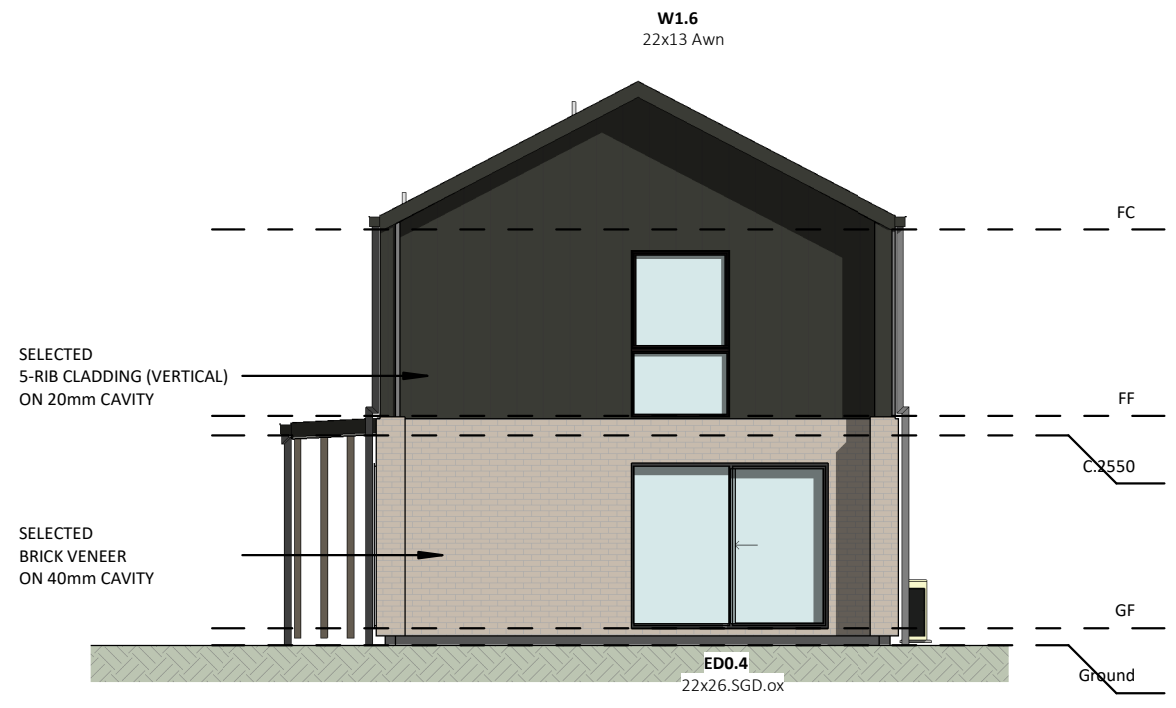
REV	ISSUE	DATE
B	PRELIM PLANS	21.03.2021
C	PRELIM PLANS 2	20.05.2021
D	DEVELOPED PLANS	13.07.2021
E	RC COORD	9.08.2021
F	FOR PRICING	11.08.2021

PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50
CLIENT	CHECK	FILE	SHEET
CHP DEVELOPMENTS LTD	JS	2025	D_105

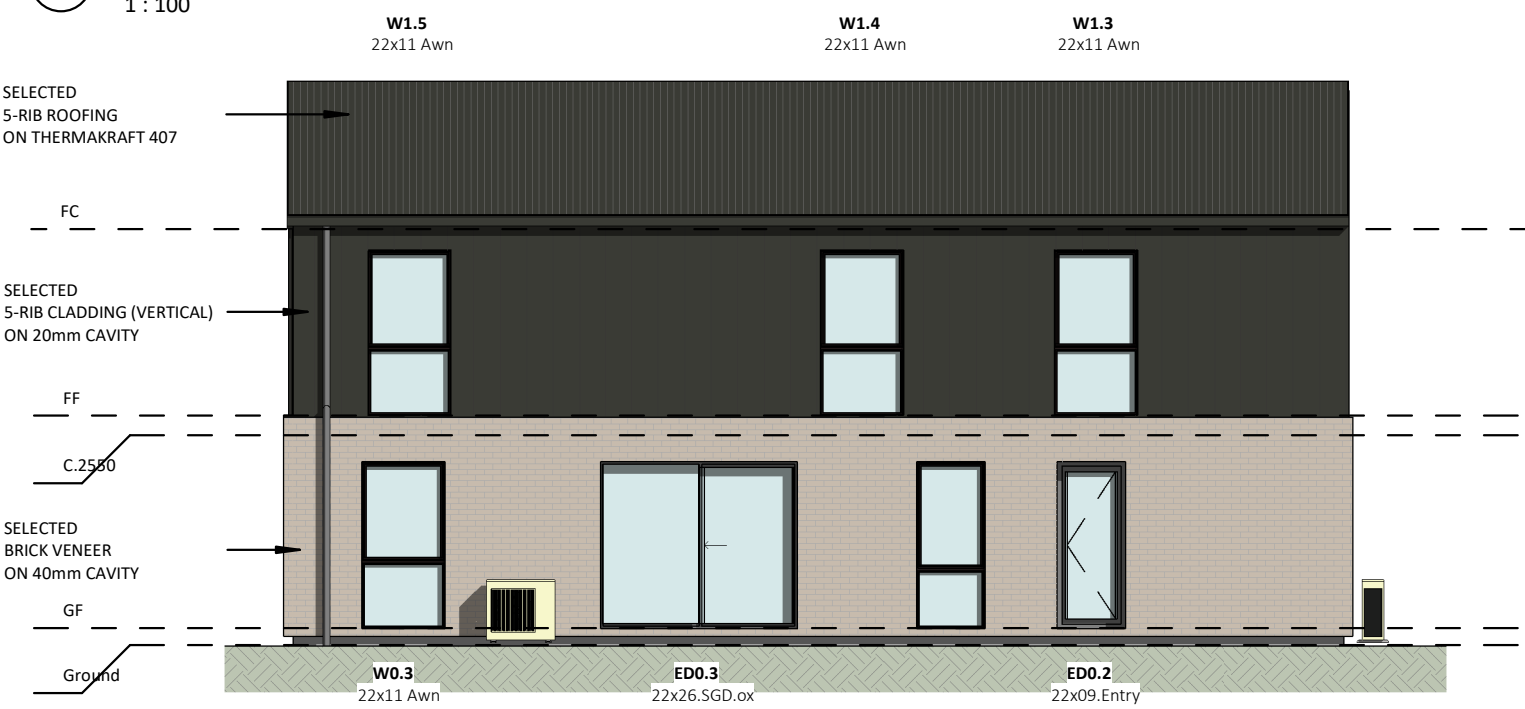
DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
21.03.2021	PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50
20.05.2021	PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50
13.07.2021	PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50
9.08.2021	PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50
11.08.2021	PROSPECTOR'S PARK	PK/JS	FIRST FLOOR - TYPE D	1 : 50



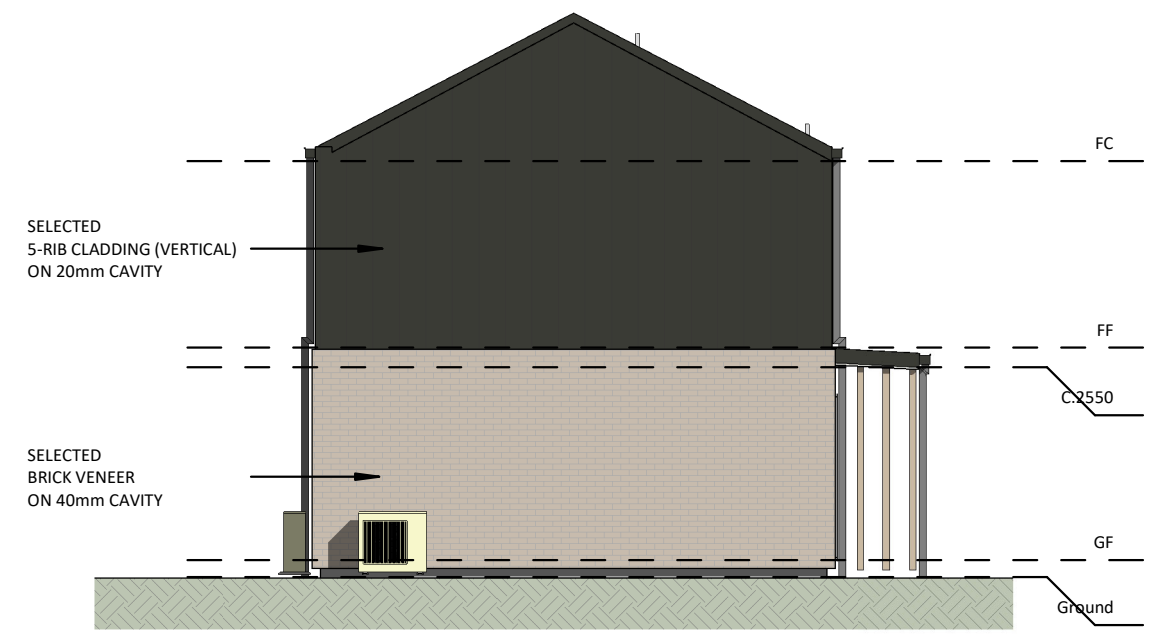
1 ELEVATION FRONT
1 : 100



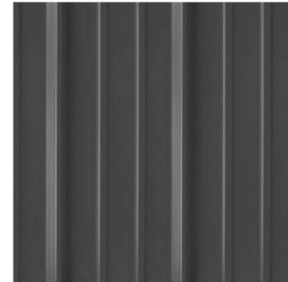
2 ELEVATION SIDE
1 : 100



3 ELEVATION BACK
1 : 100



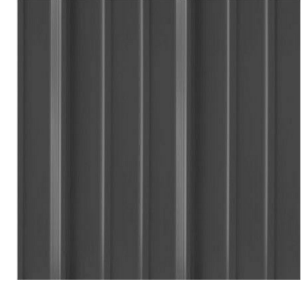
4 ELEVATION SHARED / BACK
1 : 100



5-RIB ROOFING :
IRONSAND,
ON COVERTEK 407,
ON H1.2 70X45 PURLINS ON
FLAT @ 900 CRS
TYPE 'T' FIXING 2.4kn 1/10G
SELF DRILLING SCREW
80MM LONG
185 METAL FASCIA, 125 BOX
SPOUTING, 80Ø DOWN PIPE



EXTERNAL WALLS: BRICK VENEER
140X45 H1.2 J-FRAME
STUDS @ 600 CRS, NOGS @ 800 CRS
7MM H3 ECOPLY RAB
FIRTH 70 SERIES BRICK VENEER,
EH TIES 600H X 400V
FOCUS PREMIUM WHITE.
DRICON MORTAR: PUMICE



EXTERNAL WALLS: TRIB
140X45 H1.2 J-FRAME
STUDS @ 600 CRS, NOGS @
800 CRS
7MM H3 ECOPLY RAB
T-Rib VERTICAL CLADDING
ON 20MM CAVITY
OVER 7MM ECOPLY RAB
IRONSAND

Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

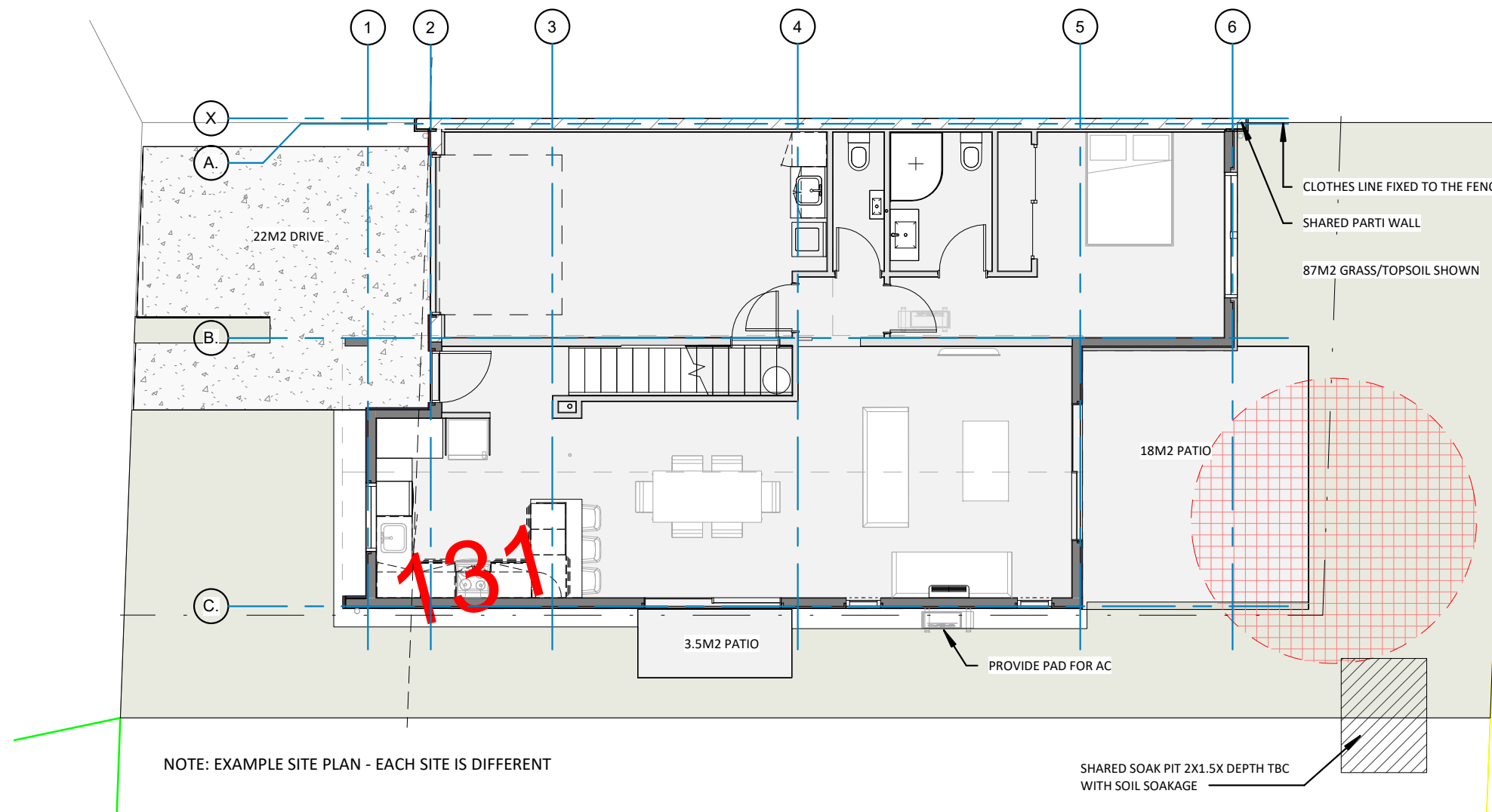
Risk factor	Risk severity				Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	
Wind zone (per NZS 3604)(1)	0	0	1	1 2	1
Number of storeys	0	1	2	2 4	2
Roof/wall intersection design	0	1	3	5 5	5
Eaves width	0	1	2	5 5	5
Envelope complexity	0	1	3	6 6	1
Deck design	0	2	4	6 6	0
Total risk score for use in Table 3:					14

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

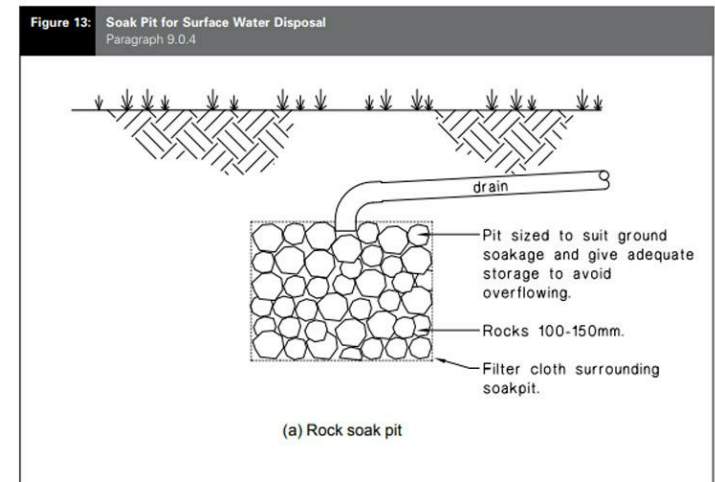
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Elevation Risk Matrix: All Elevations
Cladding Used: PERMITTED ON CAVITY = Permitted

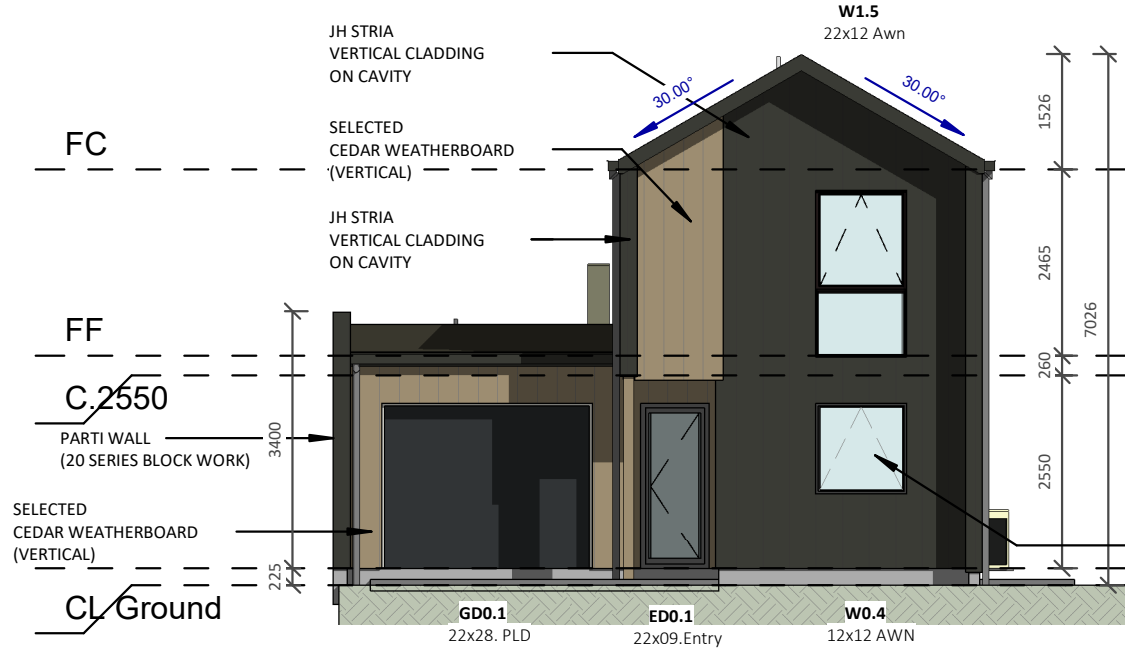
	<p>NOTES All dimensions to be verified on site before making any shop drawings or commencing any work. All work to comply with current NZBC and relevant codes and standards. Do not measure off these printed drawings. The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited. If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	ELEVATIONS		1 : 100
		C	PRELIM PLANS 2	20.05.2021					
		D	DEVELOPED PLANS	13.07.2021	CLIENT	CHECK	FILE	SHEET	REV
		E	RC COORD	9.08.2021	CHP DEVELOPMENTS LTD	JS	2025	D_200	F
		F	FOR PRICING	11.08.2021					



1. SITE PLAN
1 : 100



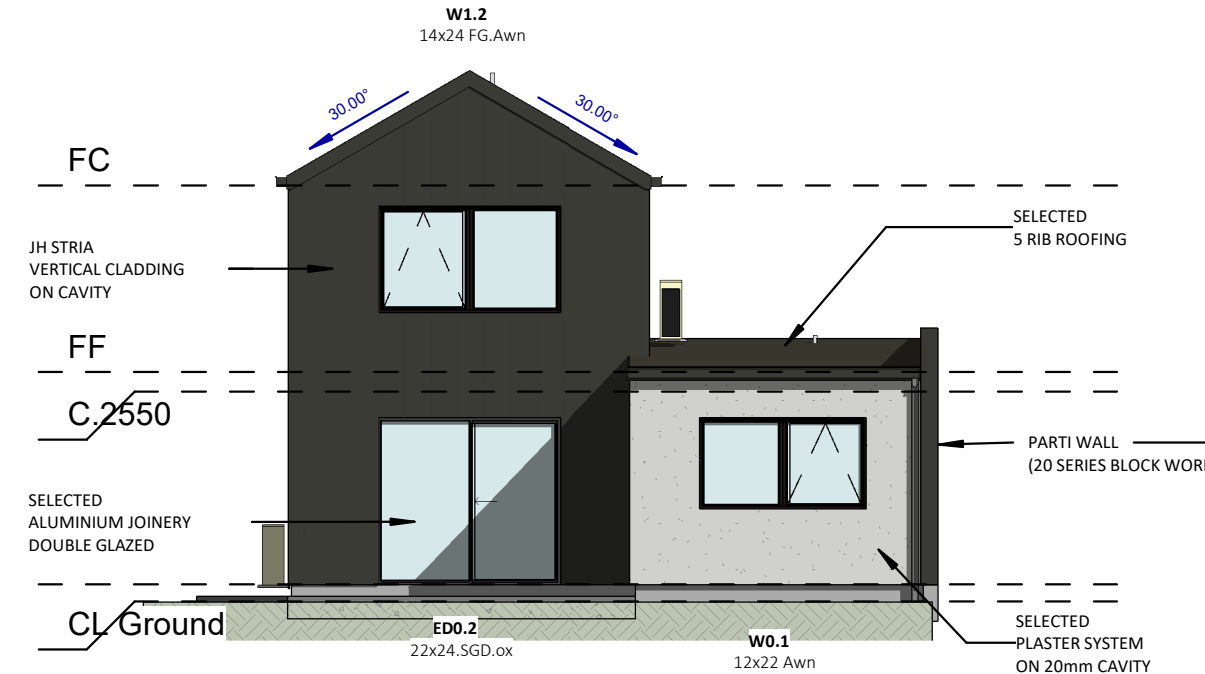
	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>				REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK		PK/JS	SITE PLAN				1 : 100
		C	PRELIM PLANS 2	20.05.2021			CHECK	FILE	SHEET			REV
		D	DEVELOPED PLANS	13.07.2021								
		E	RC COORD	9.08.2021	PROSPECTOR'S PARK		JS	2025	E_100			F
		F	FOR PRICING	11.08.2021								



1 ELEVATION FRONT
1 : 100



2 ELEVATION SIDE
1 : 100



3 ELEVATION BACK
1 : 100



4 ELEVATION SHARED
1 : 100

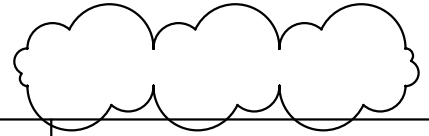


Table 2: Building envelope risk scores
Paragraph 3.1.2, Figure 1

Risk factor	Risk severity					Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	VERY HIGH (2)	
Wind zone (per NZS 3604(1))	0	0	1	1	2	1
Number of storeys	0	1	2	2	4	2
Roof/wall intersection design	0	1	3	5	5	5
Eaves width	0	1	2	5	5	5
Envelope complexity	0	1	3	6	6	1
Deck design	0	0	2	4	6	0
Total risk score for use in Table 3:						14

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

Elevation Risk Matrix: All Elevations
Cladding Used: PERMITTED ON CAVITY = Permitted



	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>	REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
		B	PRELIM PLANS	21.03.2021	PROSPECTOR'S PARK	PK/JS	ELEVATIONS		1 : 100
		C	PRELIM PLANS 2	20.05.2021					
		D	DEVELOPED PLANS	13.07.2021	CLIENT	CHECK	FILE	SHEET	REV
		E	RC COORD	9.08.2021	PROSPECTOR'S PARK	JS	2025	E_200	F
		F	FOR PRICING	11.08.2021					